

CABRAMATTA EAST

PLANNING PROPOSAL

NO. 20073 DATE: 18/06/2018 REVISION: -

CONTENTS

- 1. INTRODUCTION
- 2. SITE INFORMATION
- 3. OVERALL MASSING VIEWS
- 4. ARCHITECTURAL PLANS
- 5. SHADOW STUDY

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INTRODUCTION

PROJECT OVERVIEW

The proposal comprises of a total of 15,377 sqm of Council (2,777 sqm) and privately held land. The project site presents a significant opportunity for mixed use urban renewal. The ground plane is to be activated with a range of fine-grain to large scale retail outlets offering residents diversity and a balance of leisure and amenity. The proposed market square will be an anchor for foot-traffic, revitalising the broader area with pedestrian activity.

The Project Team

Developer
Moon Investments

Architect
Plus Architecture

Urban Designer
e8urban

Town Planner
GLN Planning

Traffic Engineers
Anton Reisch Consulting

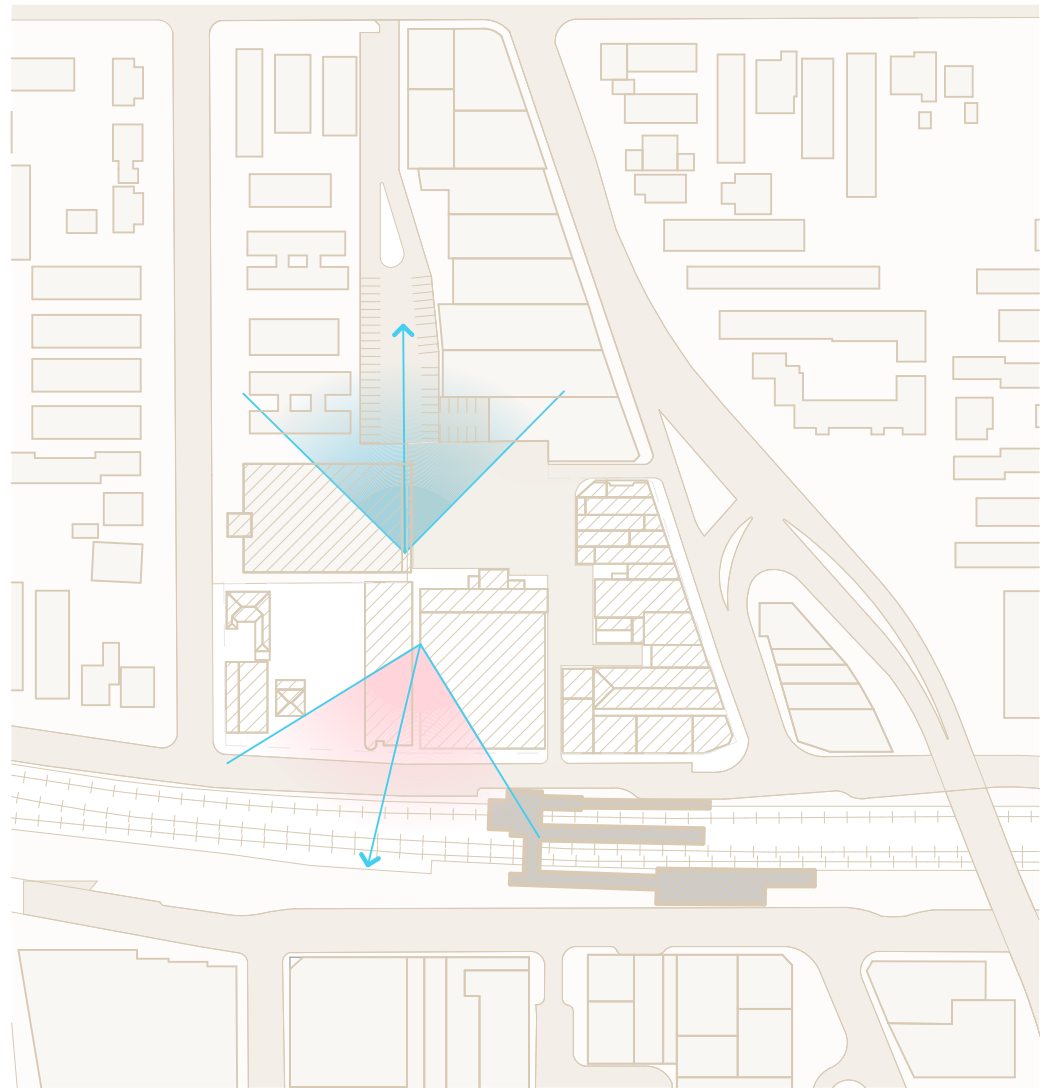


SITE INFORMATION









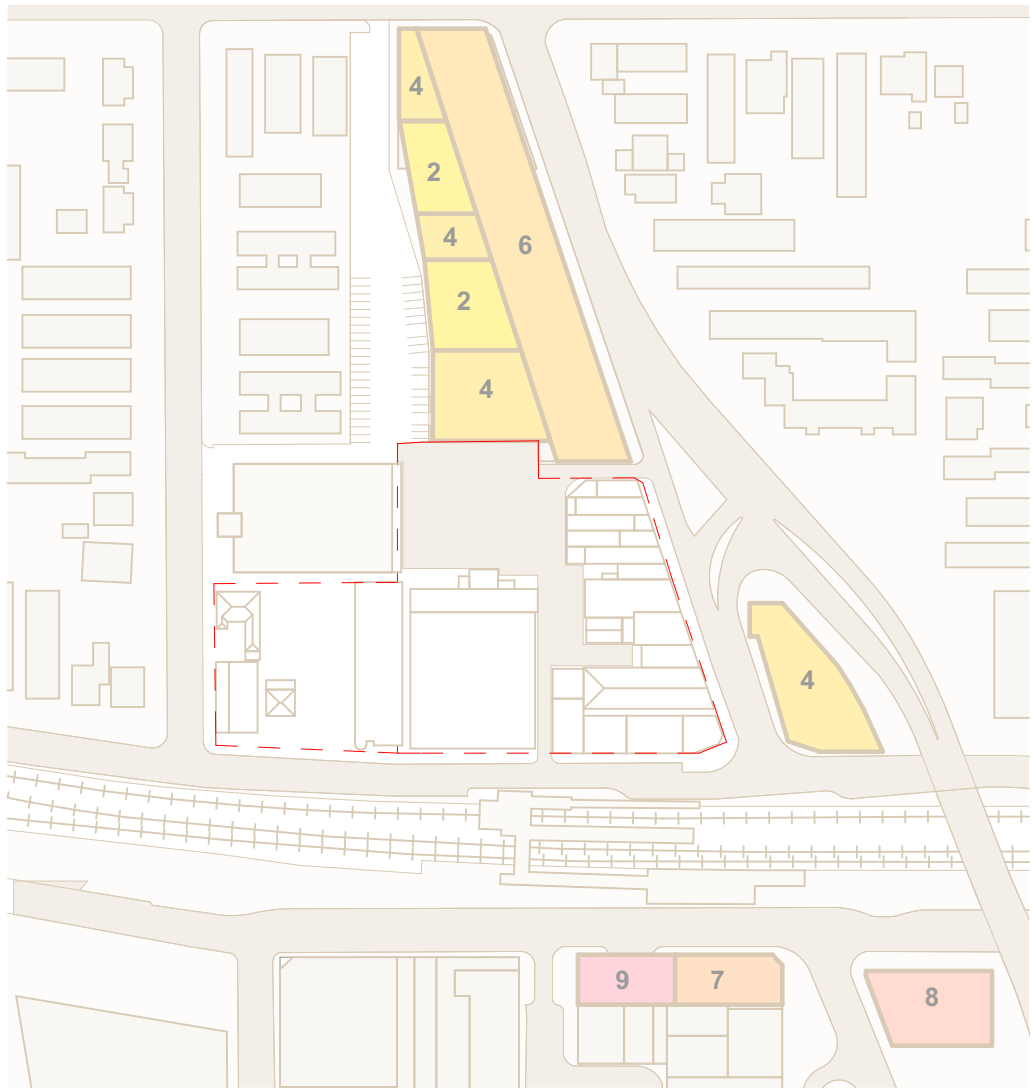
CONTEXT









LEGEND

-  DISTANT VIEWS TO CITY
-  DISTANT VIEWS TO BLUE MOUNTAINS
-  EXISTING BUILDINGS ON SITE
-  CABRAMATTA TRAIN STATION

PROJECTED BUILT FORM

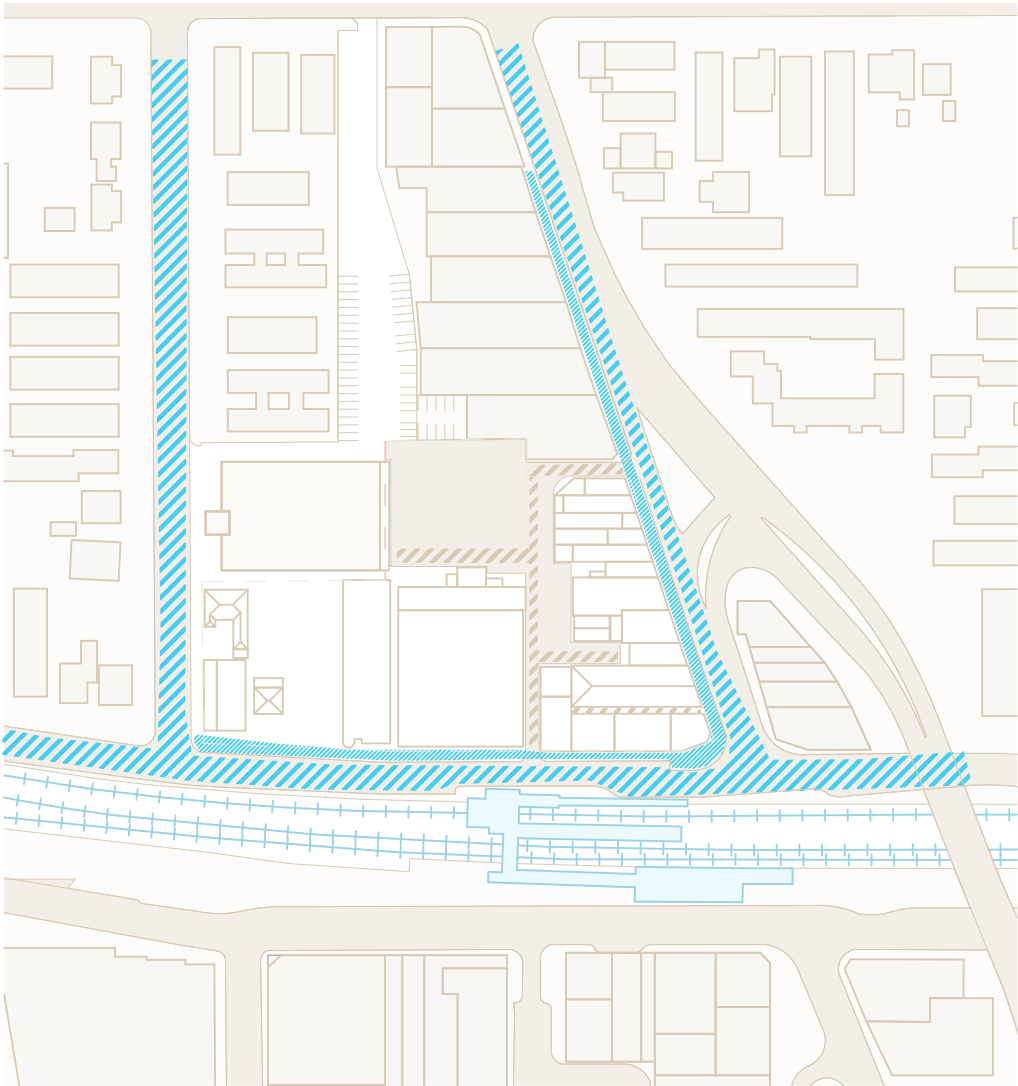


LEGEND

-  2 STOREY BUILDING
-  4 STOREY BUILDING
-  6 STOREY BUILDING
-  7 STOREY BUILDING
-  8 STOREY BUILDING
-  9 STOREY BUILDING



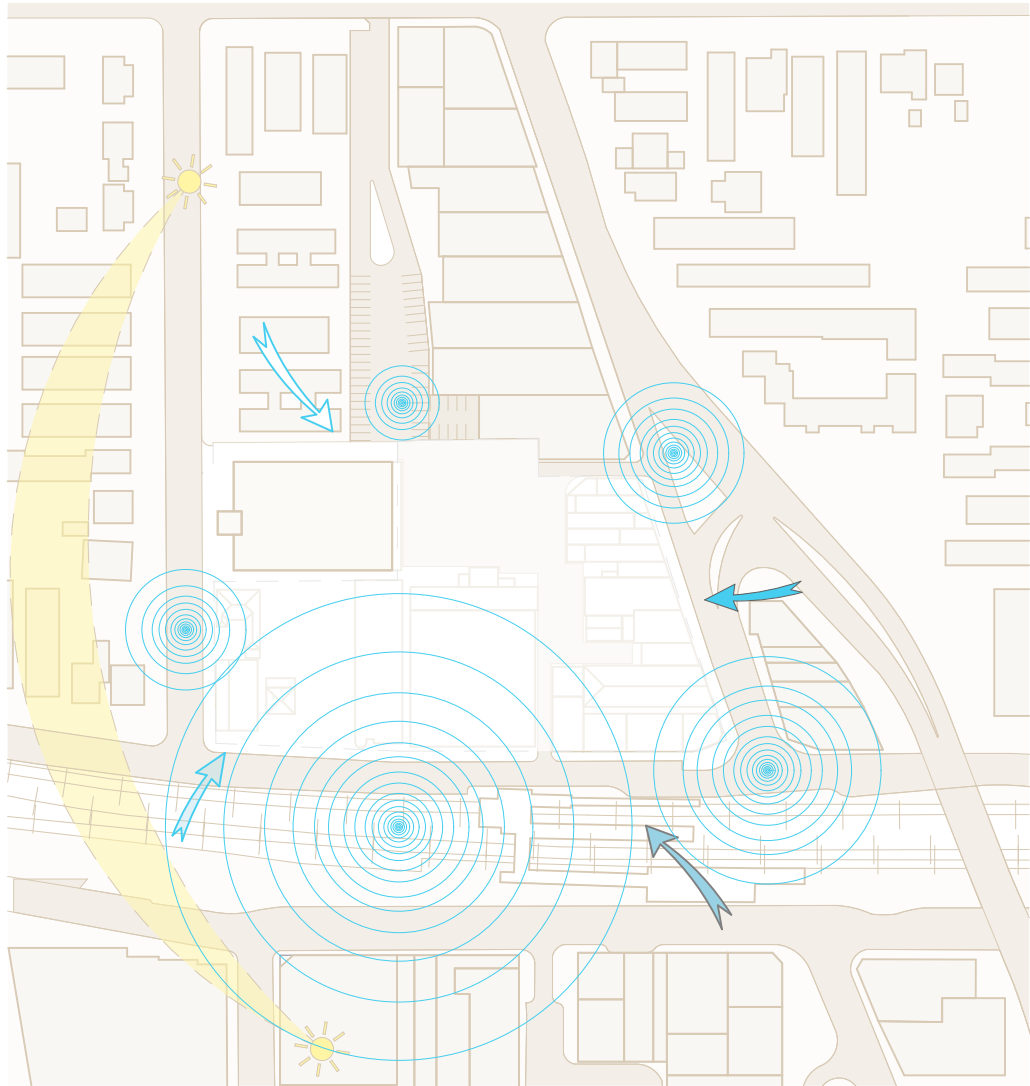
MOVEMENT



LEGEND

- VEHICULAR TRAFFIC
- PEDESTRIAN TRAFFIC
- TRAIN LINE
- CABRAMATTA TRAIN STATION
- SERVICE LANE

ENVIRONMENT



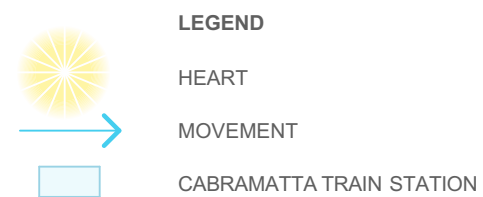
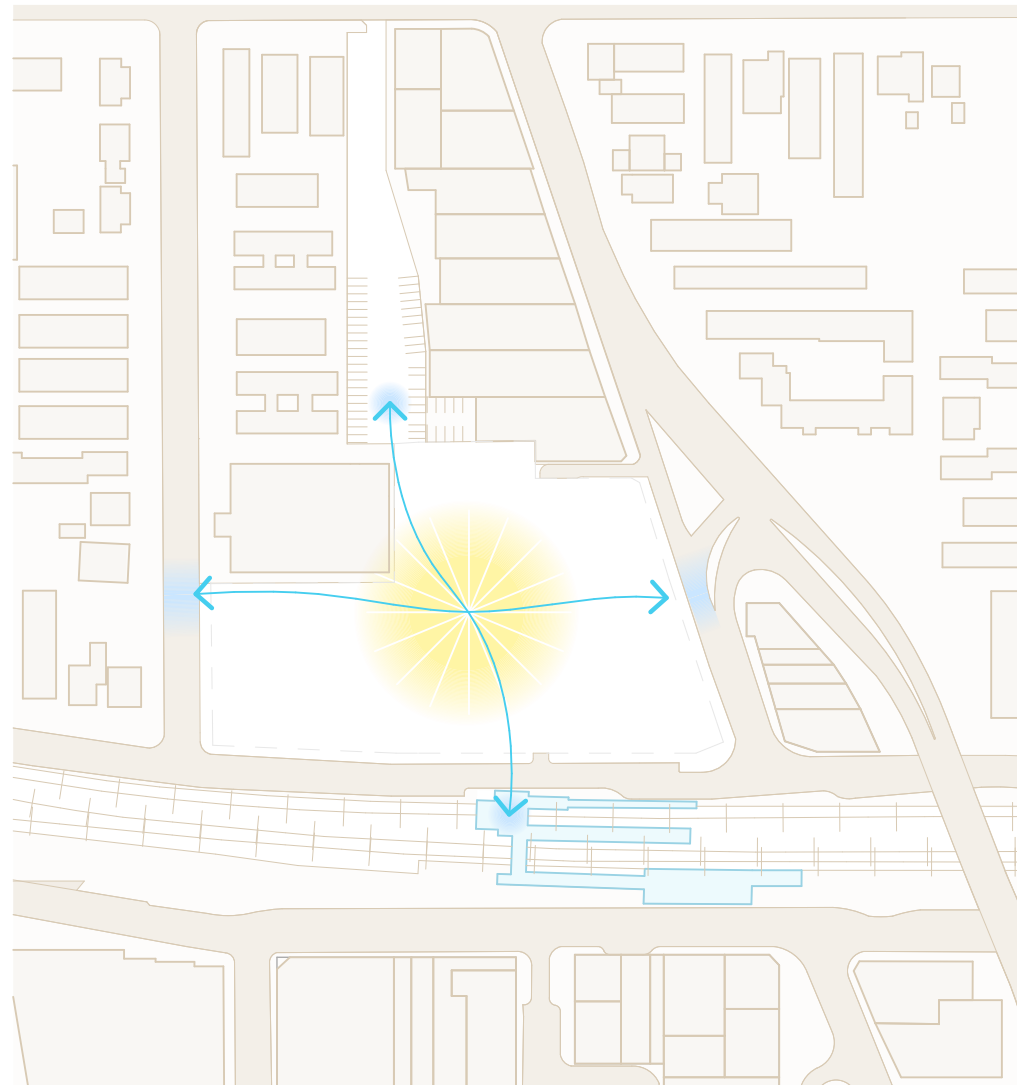
LEGEND

- SOLAR ACCESS
- NOISE SOURCE
- COOL SOUTHERLY CHANGE
- COLD WINTER WIND
- HOT SUMMER WINDS
- FAVOURABLE SUMMER WIND

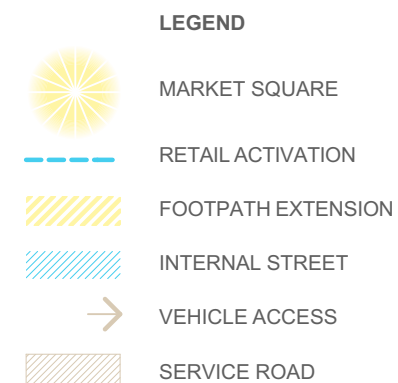
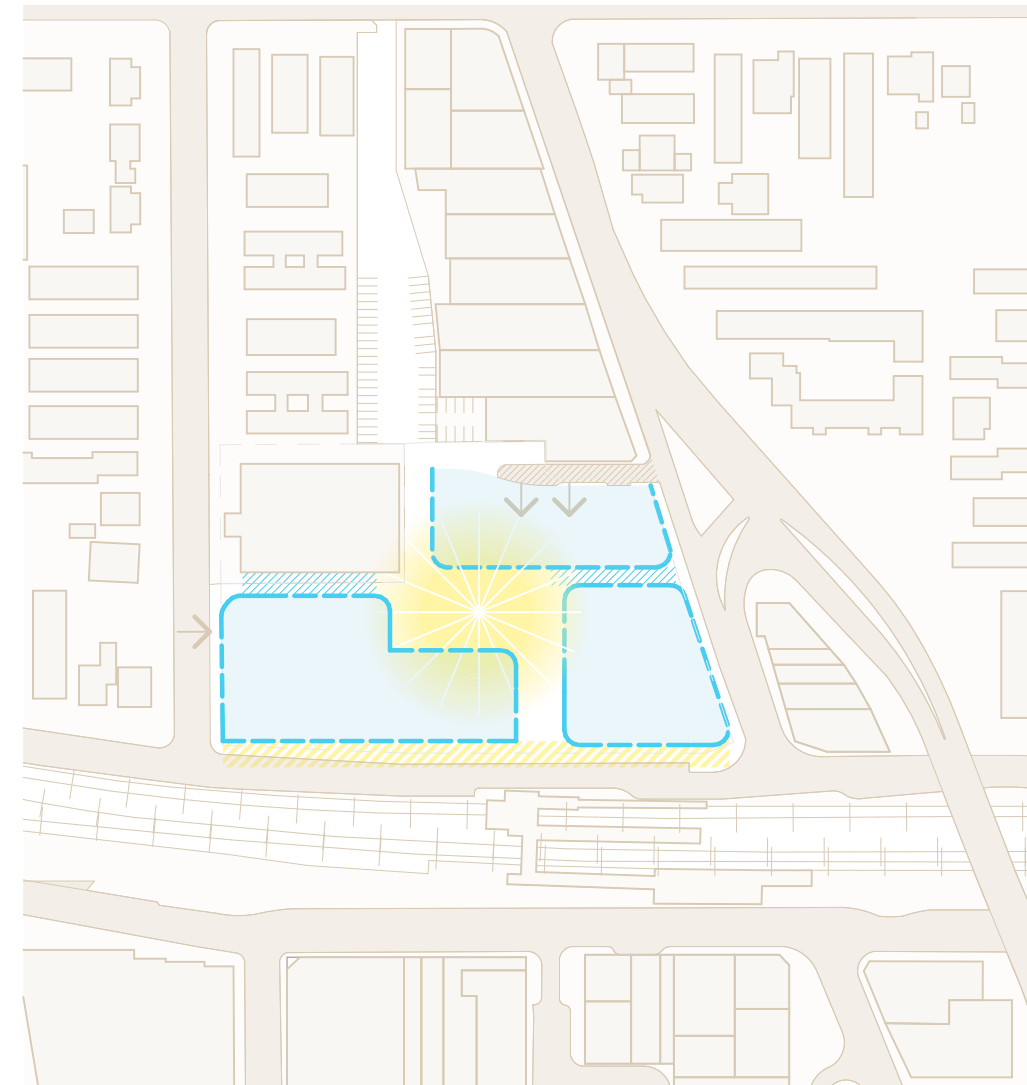


DESIGN RESPONSE

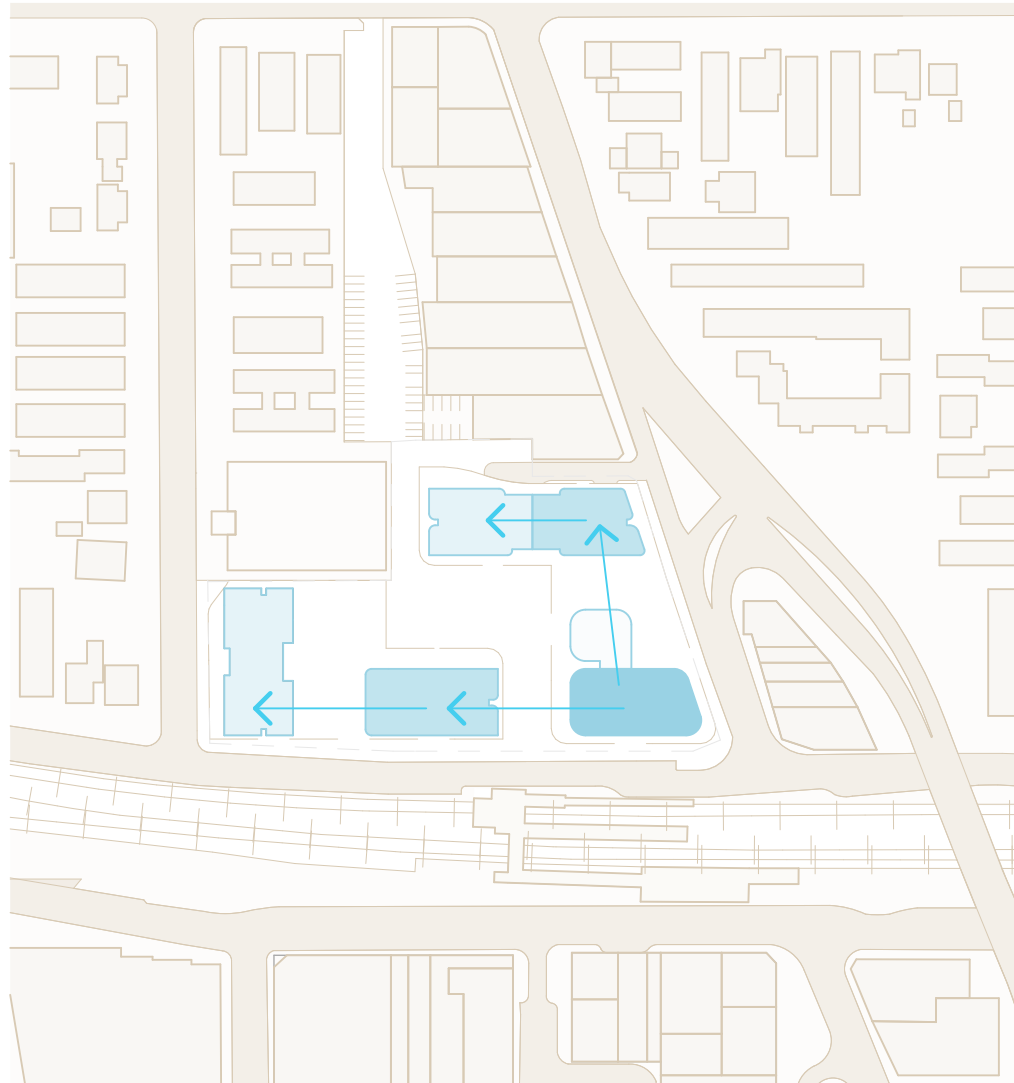
ACTIVATION



GROUND PLANE



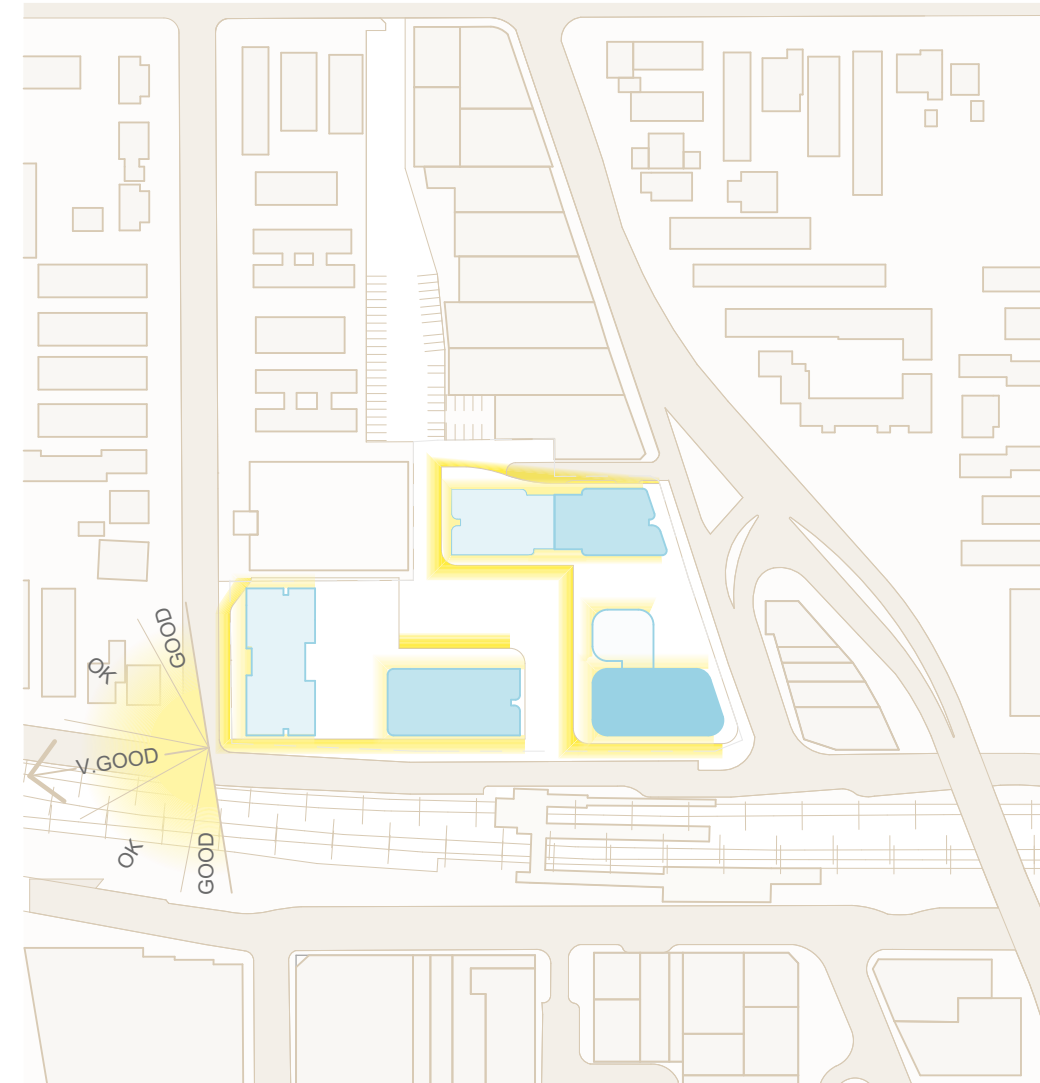
BUILDING HEIGHT TRANSITION



LEGEND

- 8 STOREY BUILDING
- 12 STOREY BUILDING
- 16 STOREY BUILDING
- 19 STOREY 'ICON' BUILDING
- STEP DOWN DIRECTION

SOLAR AMENITY

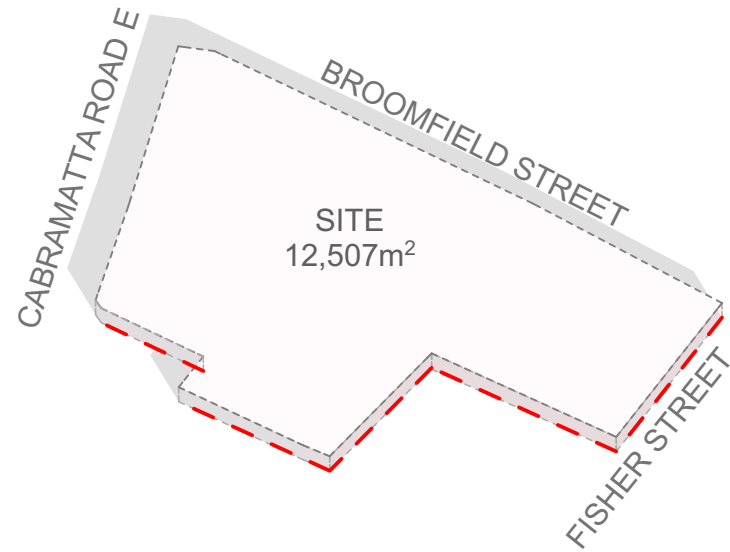


LEGEND

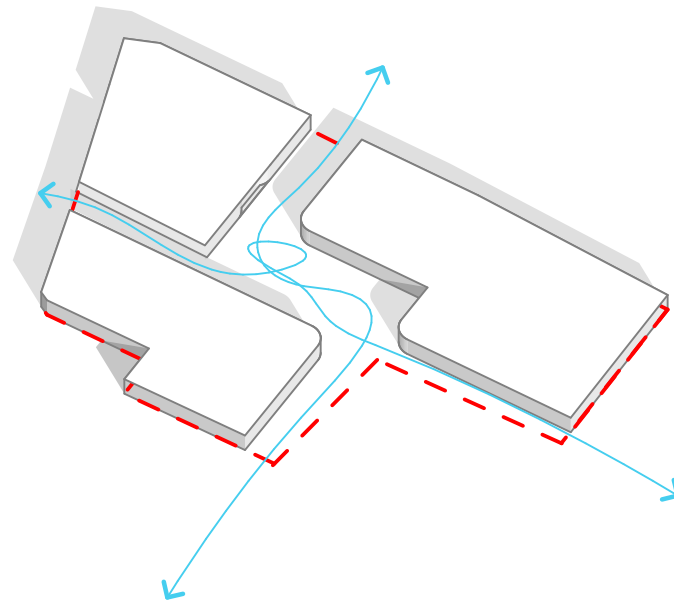
- SOLAR GAIN



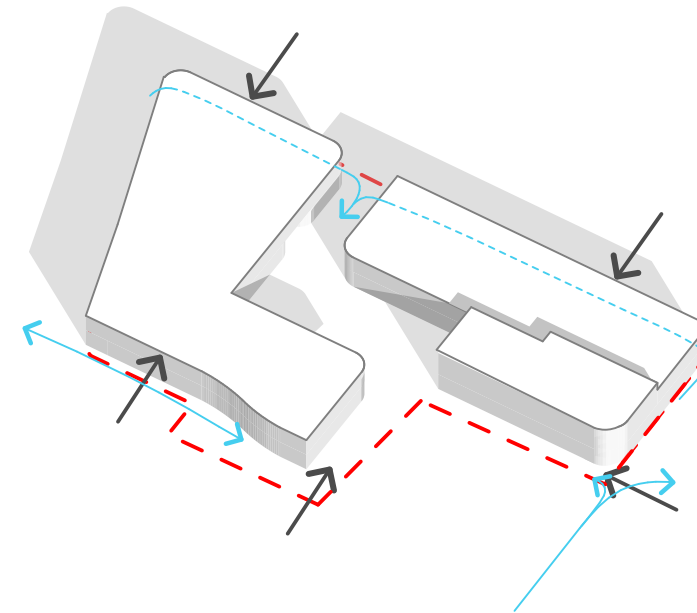
MASSING DIAGRAMS



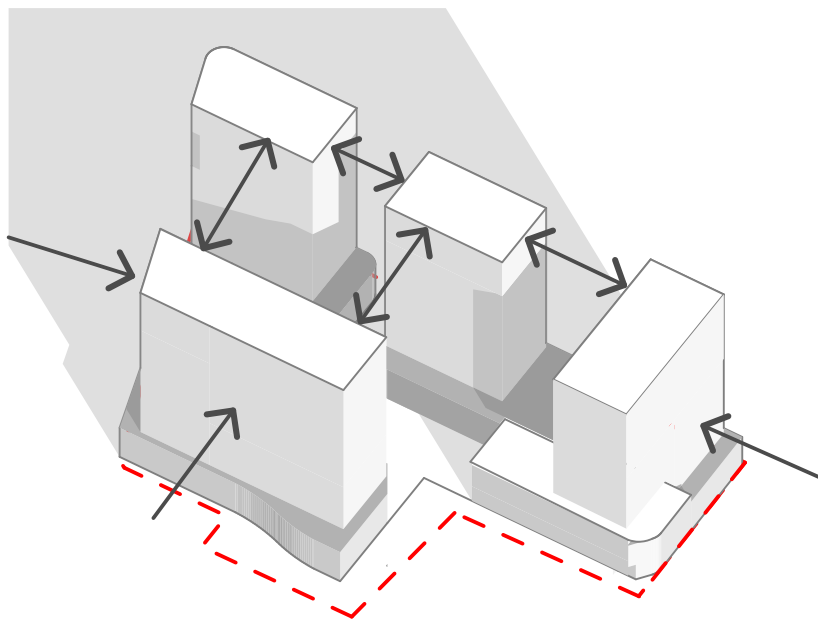
1. SITE



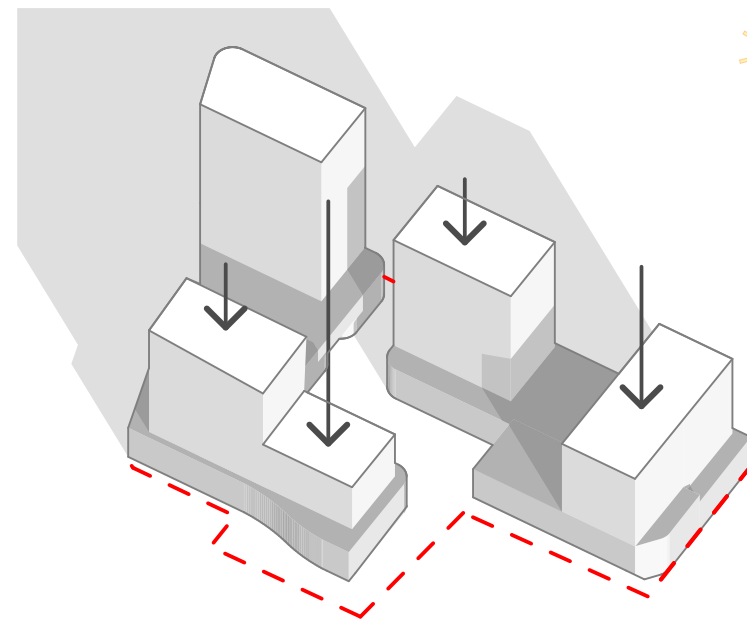
2. PERMEABILITY



3. REFINE PODIUM SETBACKS



4. REFINE TOWER SETBACKS

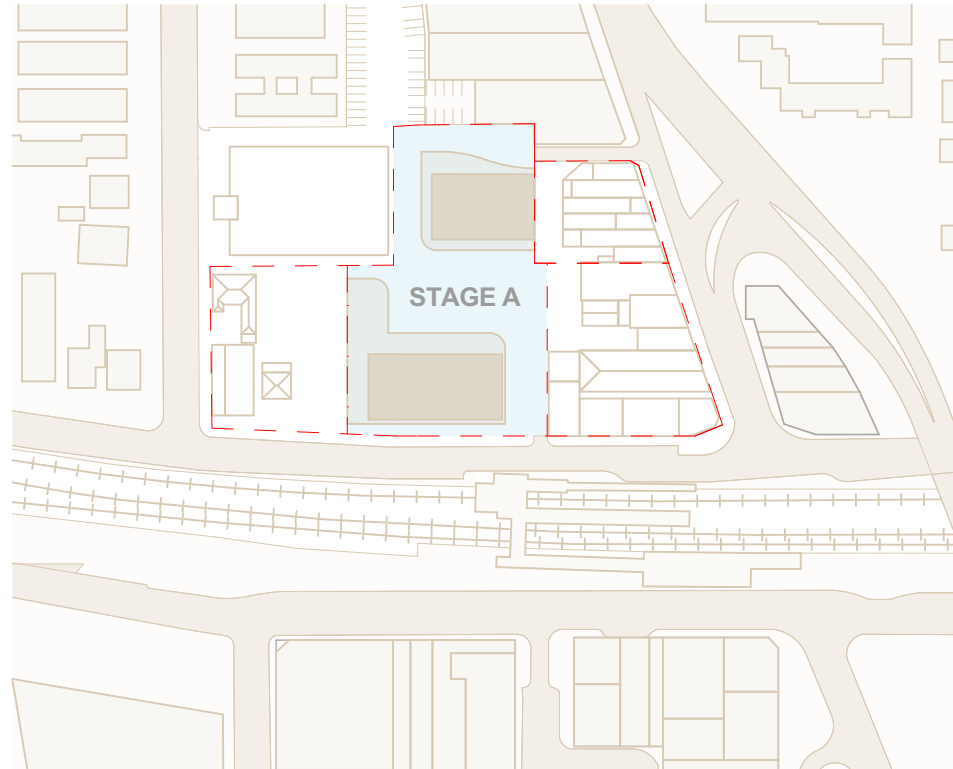


5. MAXIMISE SOLAR AMENITY
& CREATE HEIRARCY

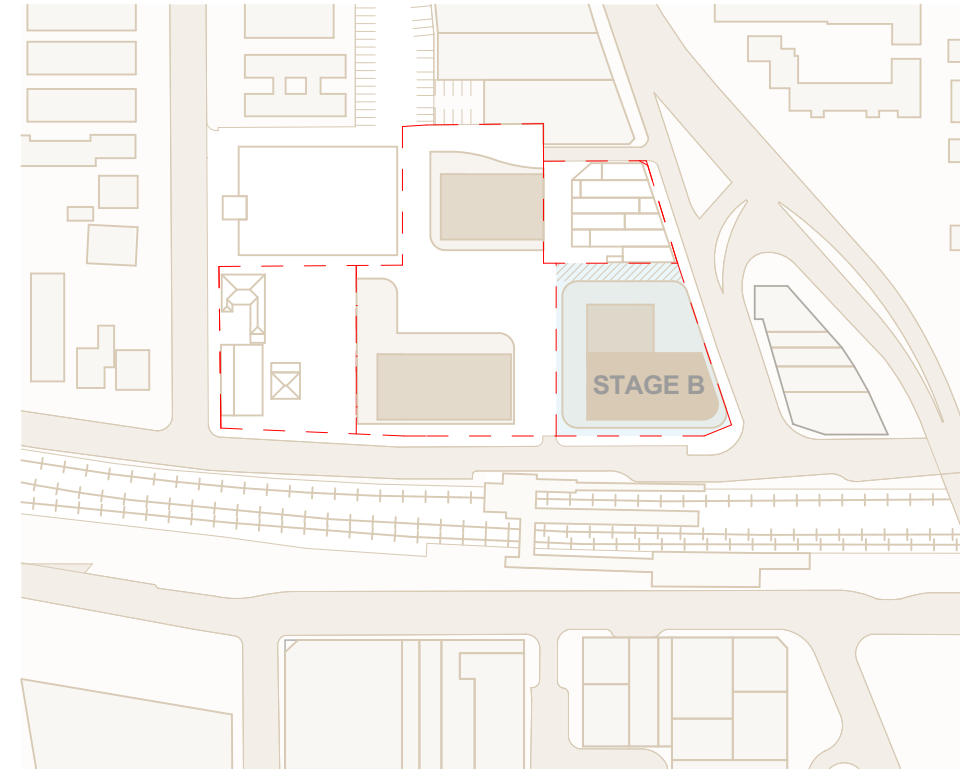
→ MOVEMENT

→ MASS EXTRUSION

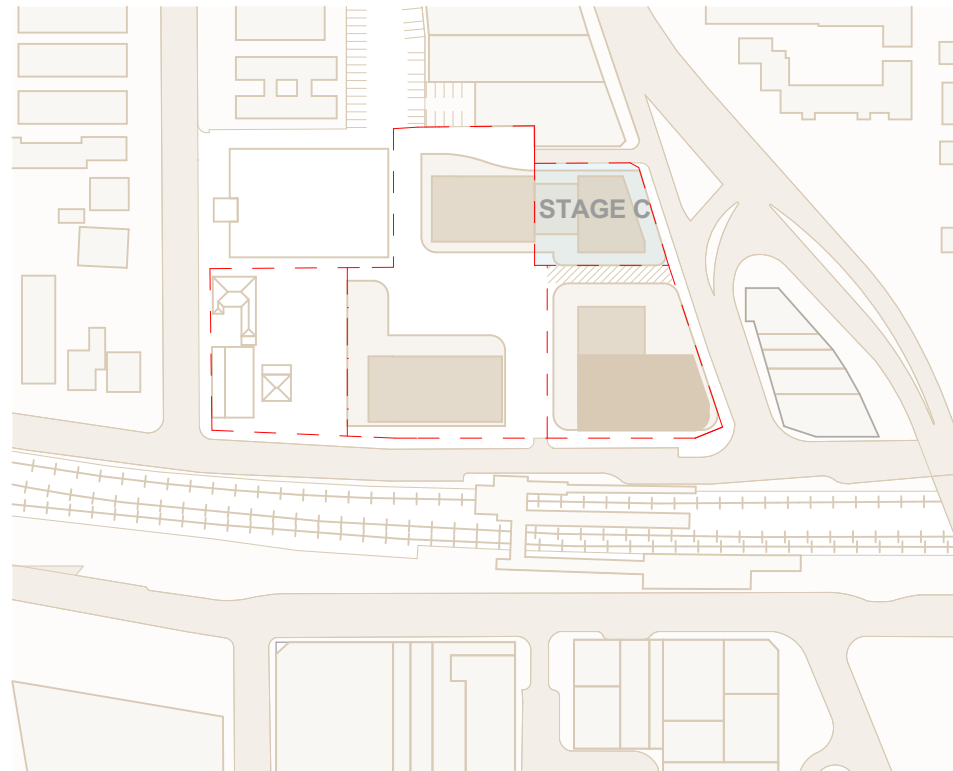
STAGE A



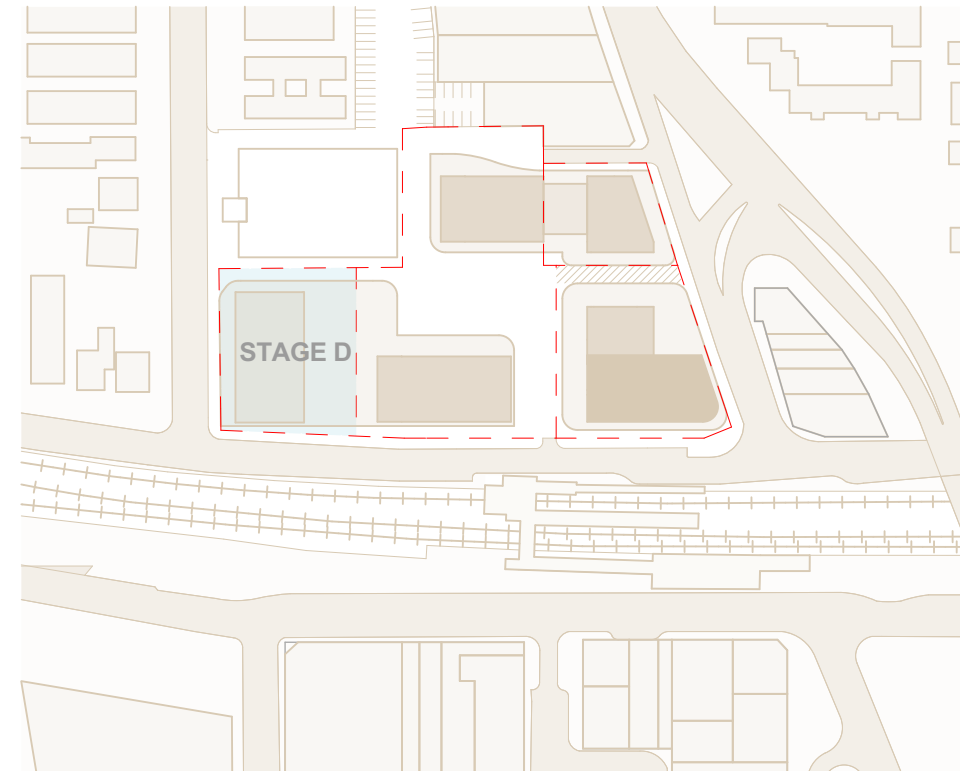
STAGE B



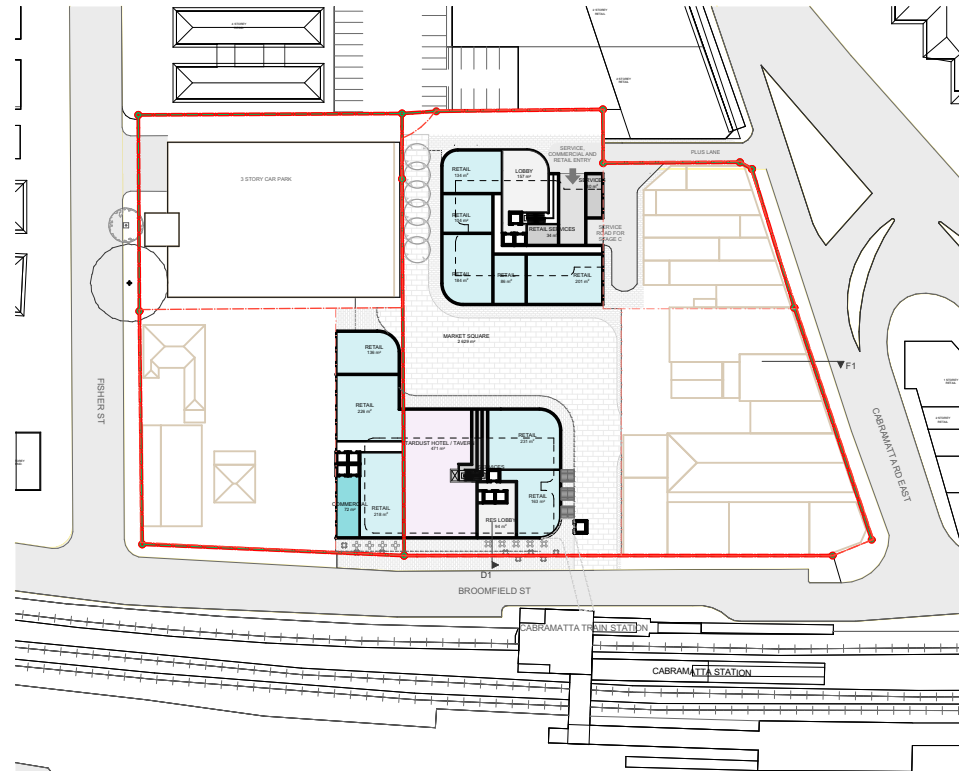
STAGE C



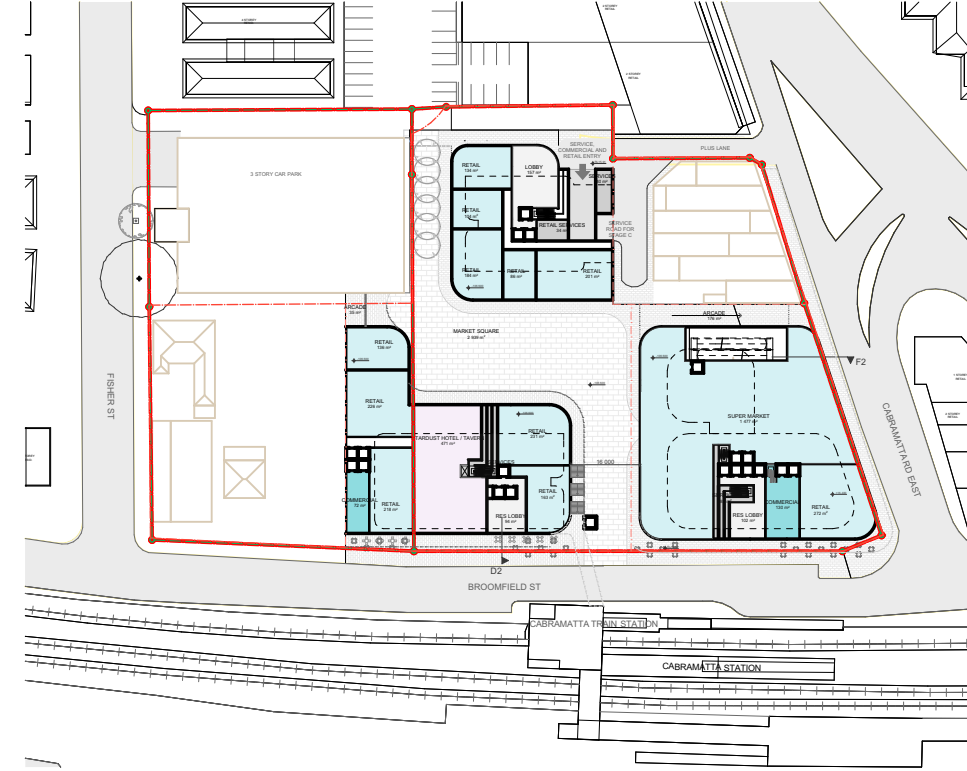
STAGE D



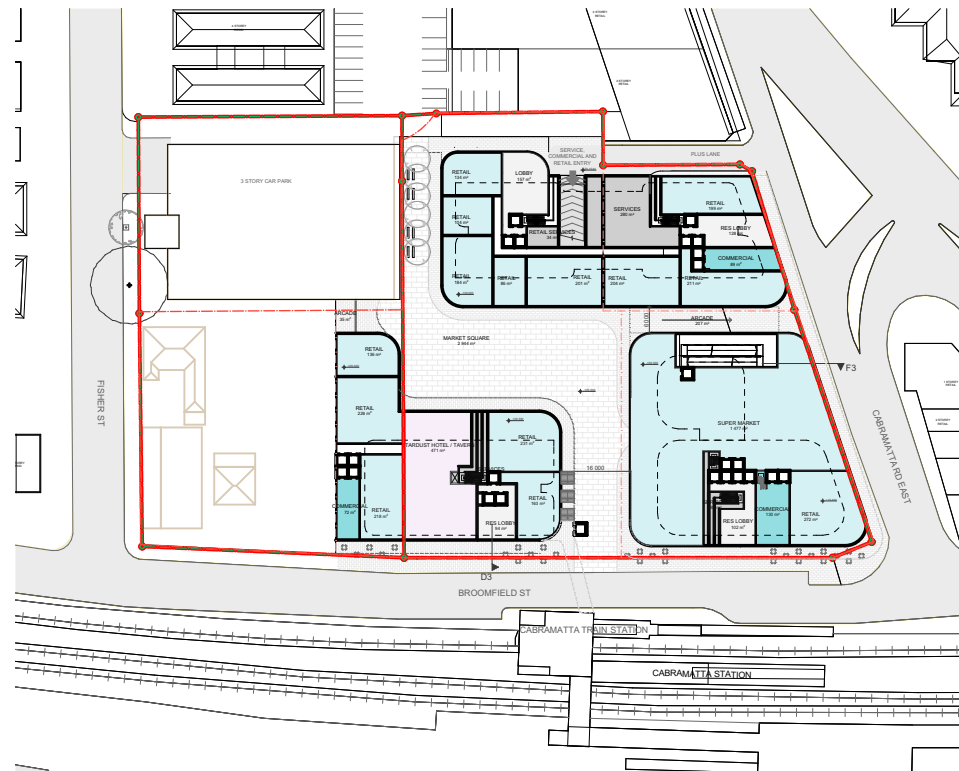
STAGE A



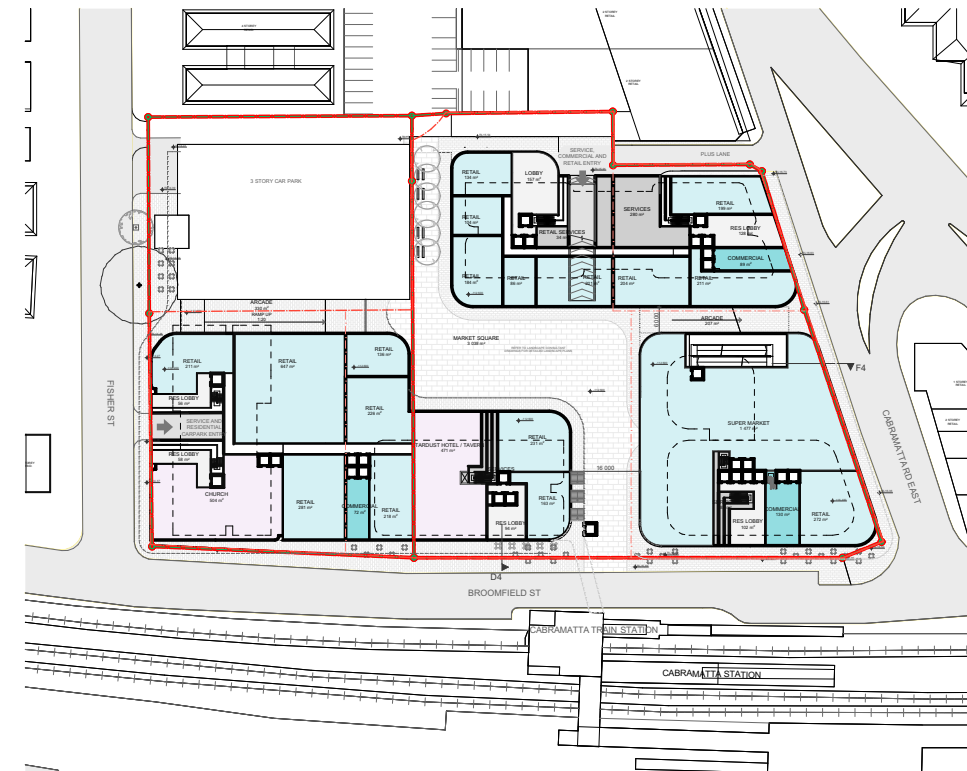
STAGE B



STAGE C



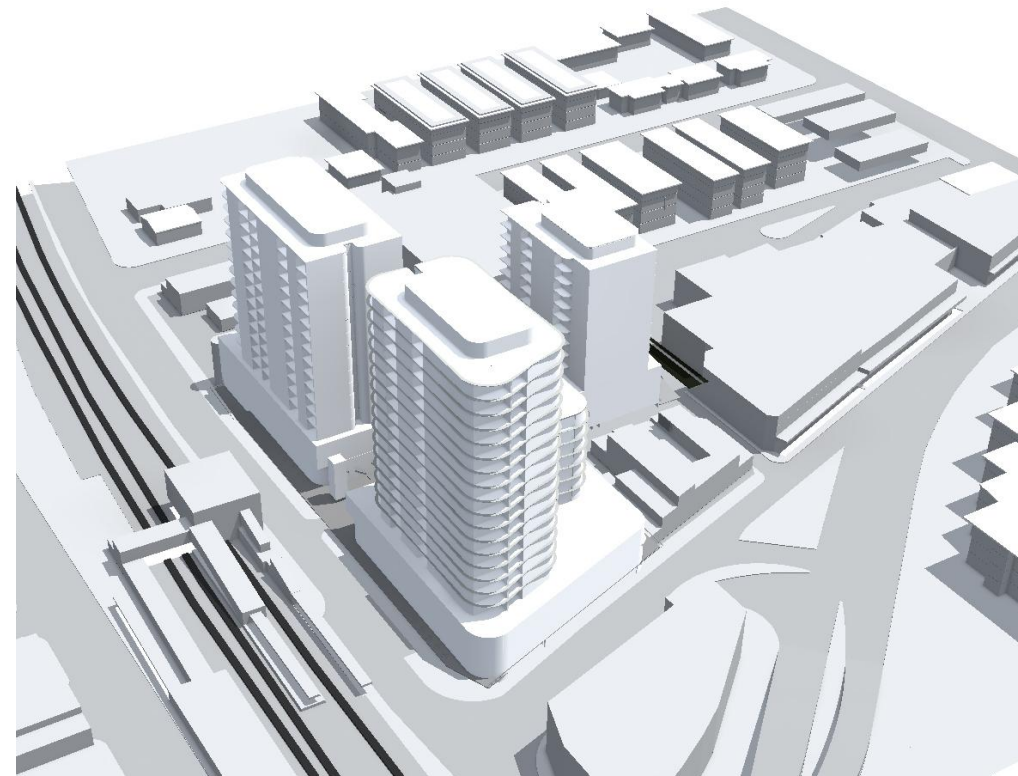
STAGE D



STAGE A



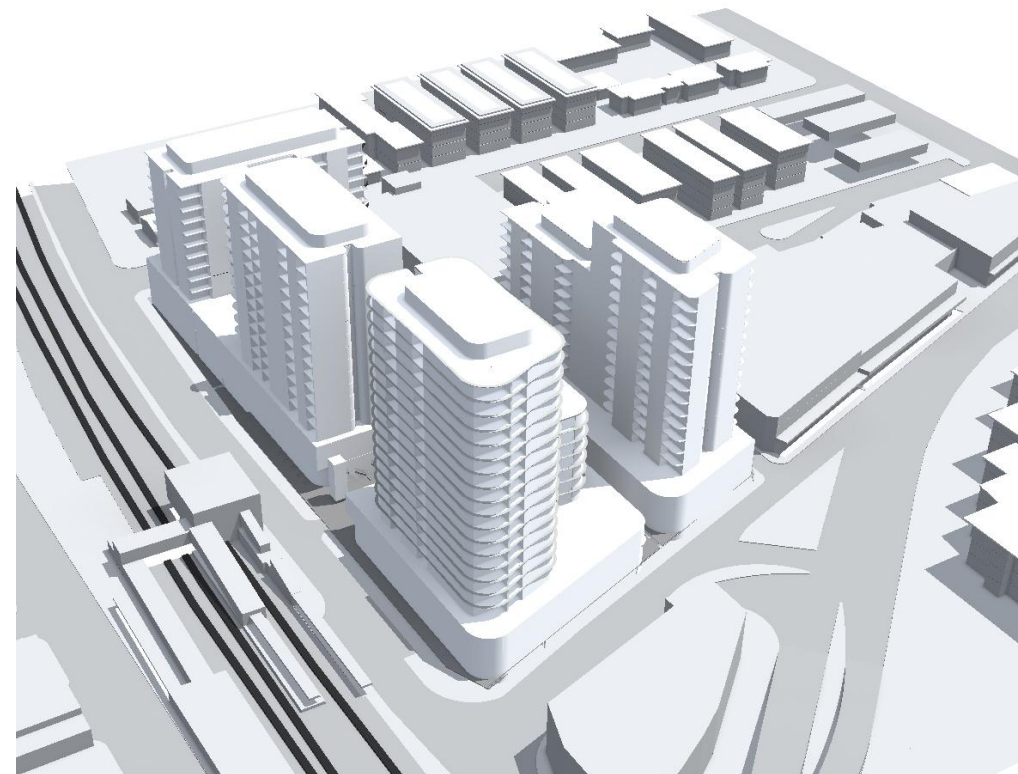
STAGE B



STAGE C



STAGE D

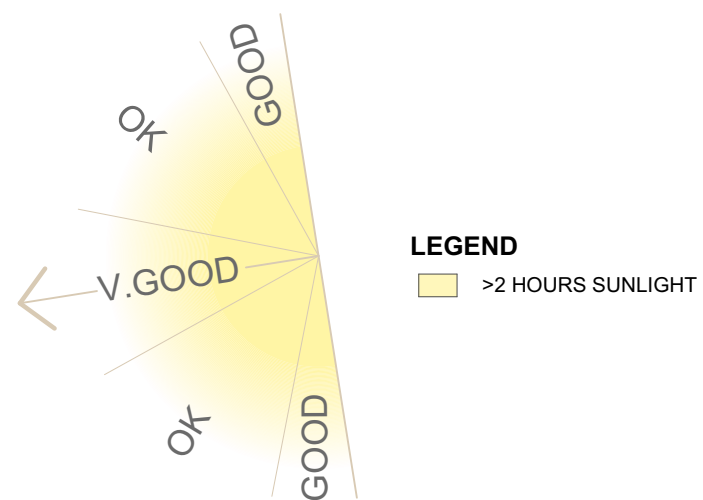


SOLAR AMENITY

TOTAL

488 OUT OF 593 APARTMENTS HAVE >2 HOUR SOLAR ACCESS.

= 82.2%



LEVEL 2 TYPICAL

32 OF 46 APARTMENTS



LEVEL 3-7 TYPICAL

160 OF 230 APARTMENTS



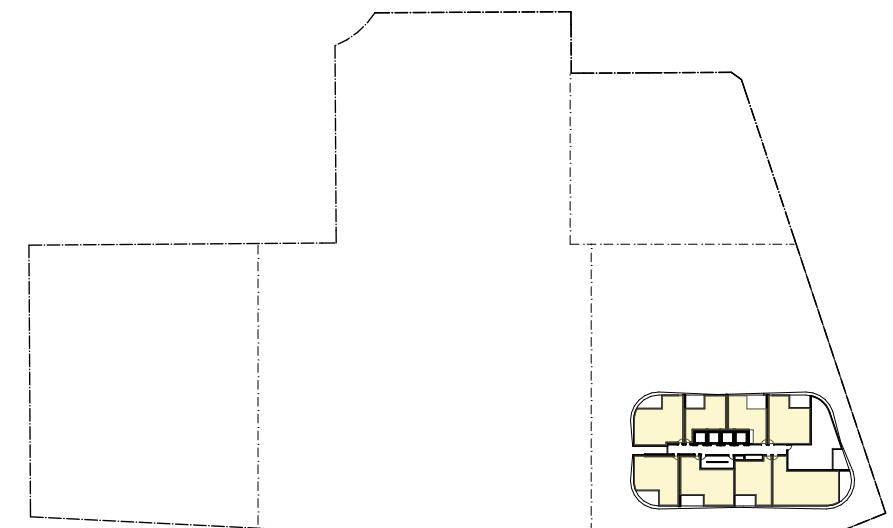
LEVEL 8-11 TYPICAL

172 OUT OF 186 APARTMENTS



LEVEL 12-15 TYPICAL

100 OUT OF 104 APARTMENTS



LEVEL 16-18 TYPICAL

24 OUT OF 27 APARTMENTS



CROSS VENTILATION (UP TO LEVEL 7)

TOTAL

174 OUT OF 276 APARTMENTS CROSS VENTILATED.

= 63.0%

LEGEND

■ CROSS VENTILATED



LEVEL 2 TYPICAL

29 OF 46 CROSS VENTILATED



LEVEL 3-7 TYPICAL

145 OF 230 CROSS VENTILATED

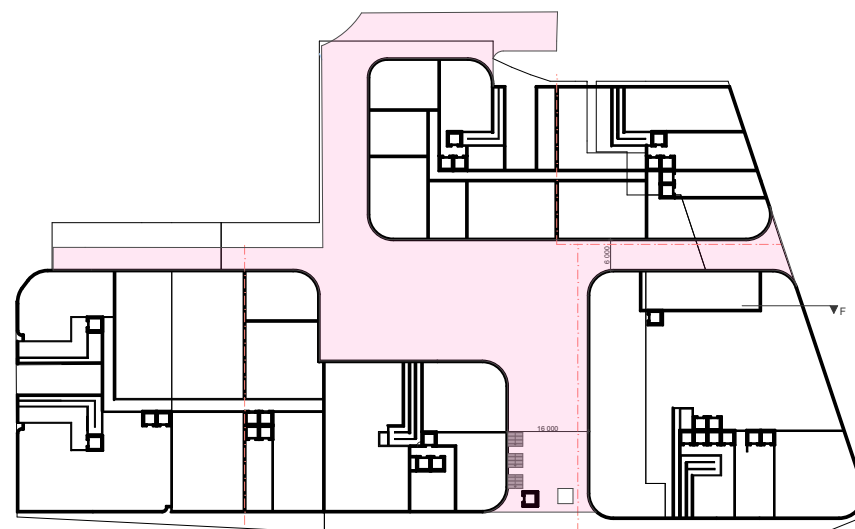
PUBLIC OPEN SPACE

TOTAL

PUBLIC / PRIVATE OPEN SPACE - 2989 sqm

LEGEND

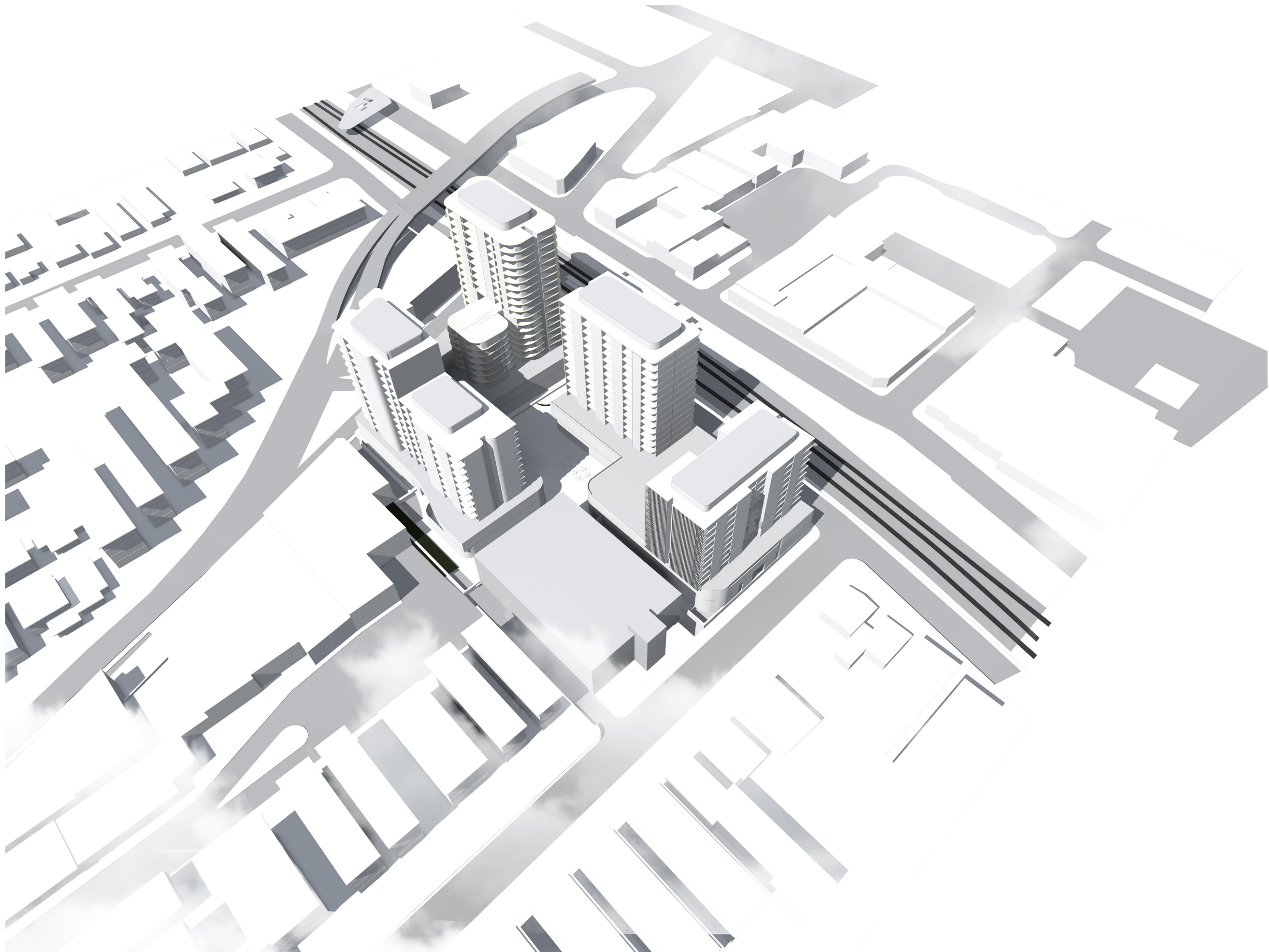
■ PUBLIC / PRIVATE OPEN SPACE

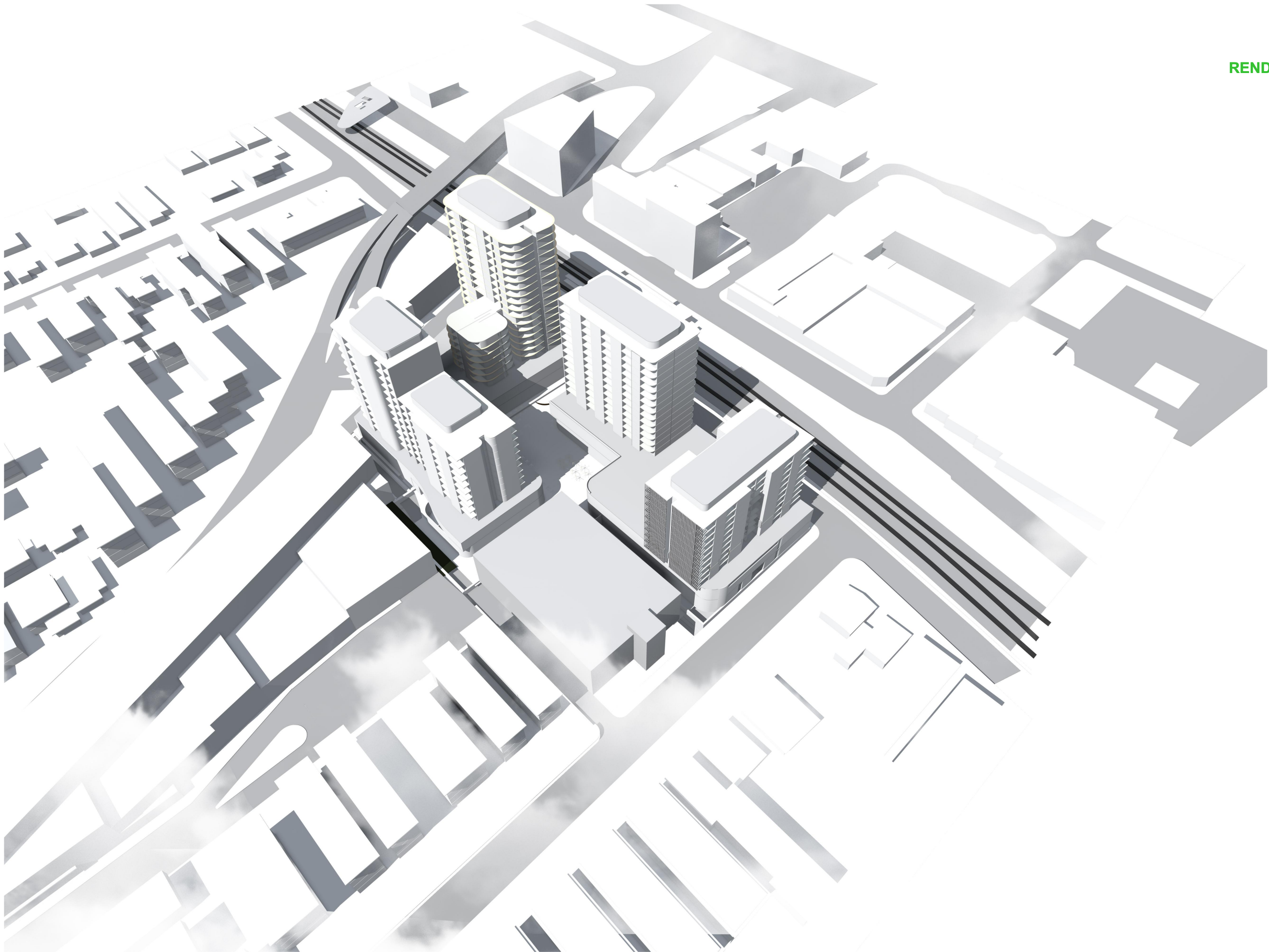


GROUND FLOOR PLAN

PUBLIC / PRIVATE OPEN SPACE

















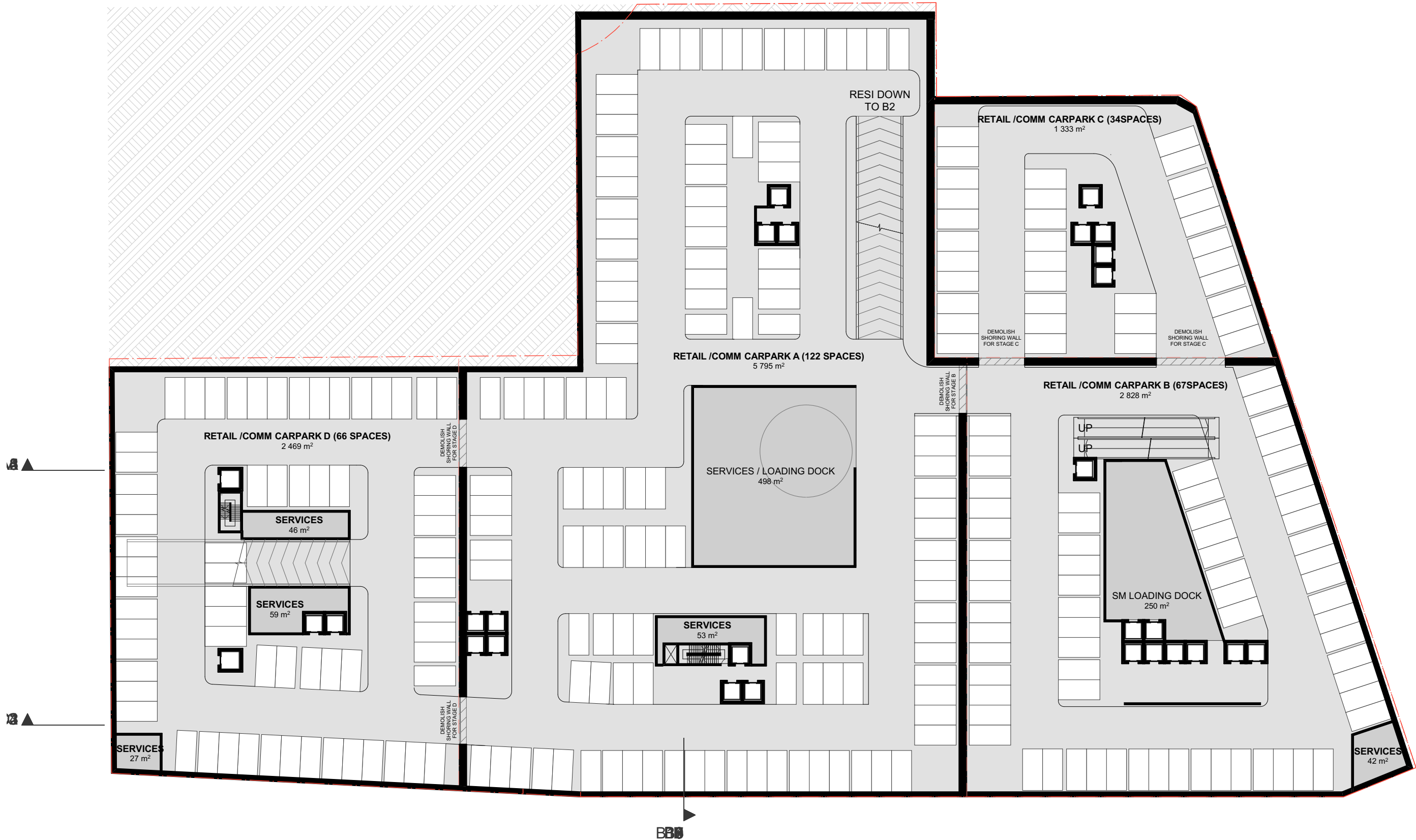
4

ARCHITECTURAL PLANS

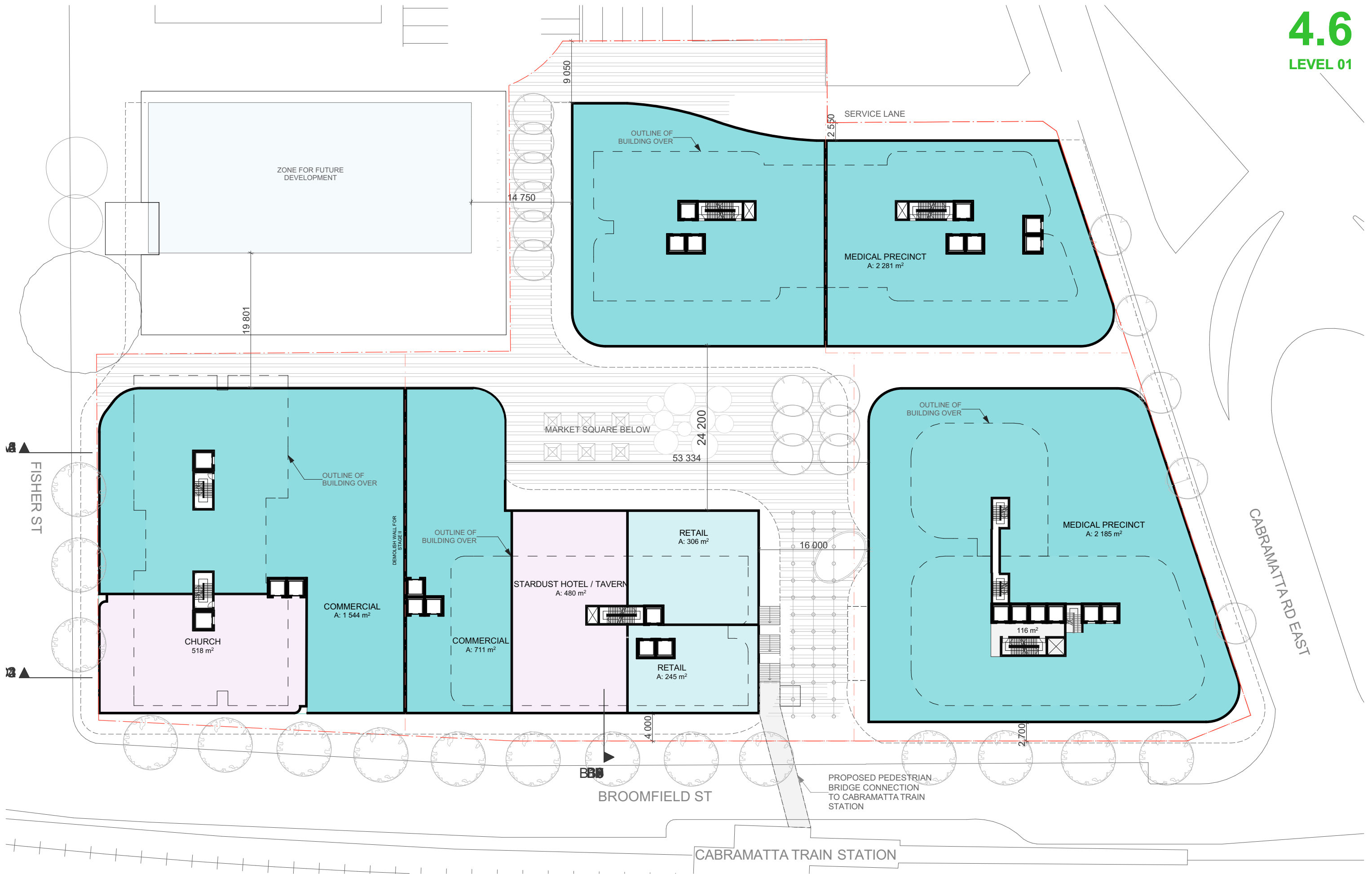














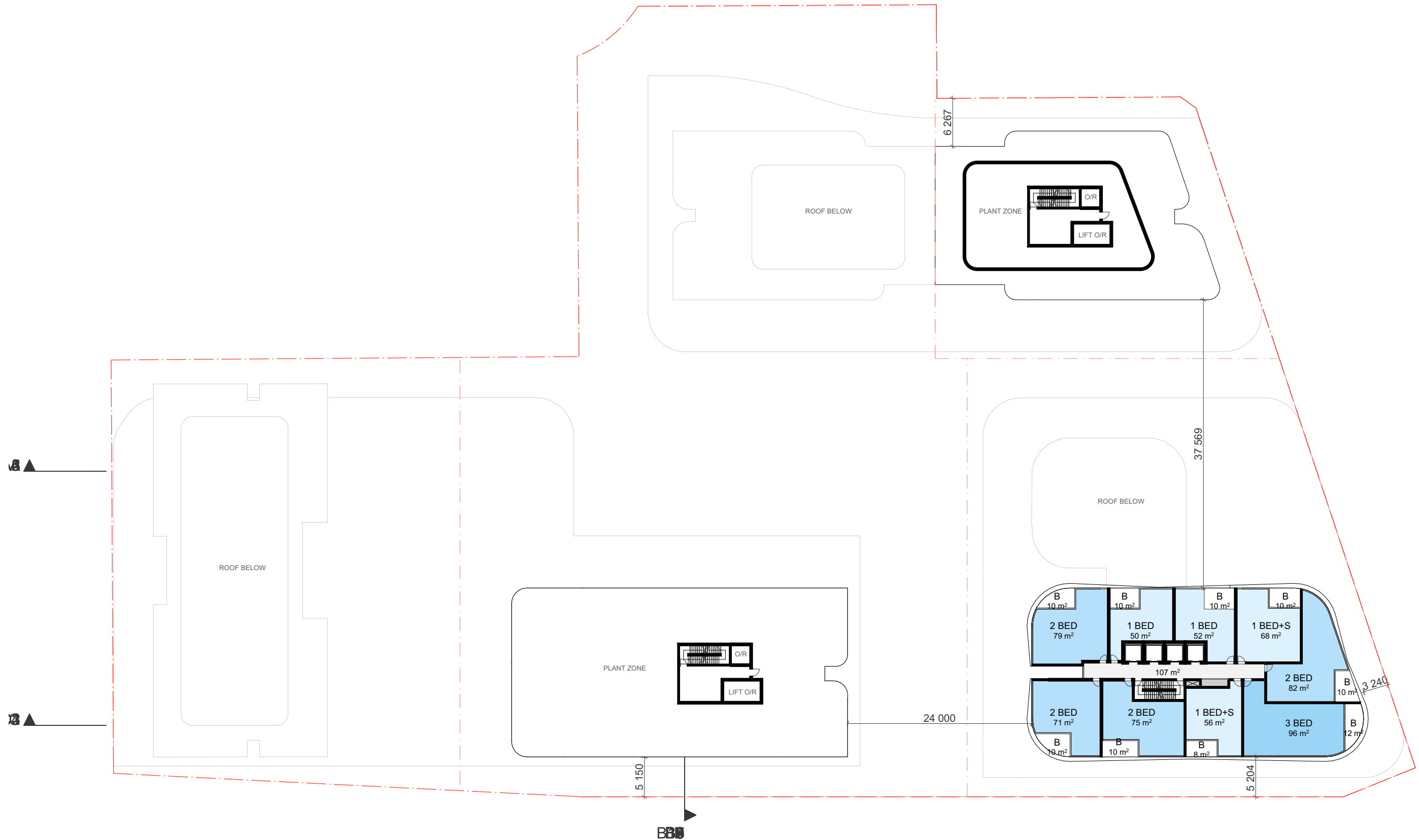


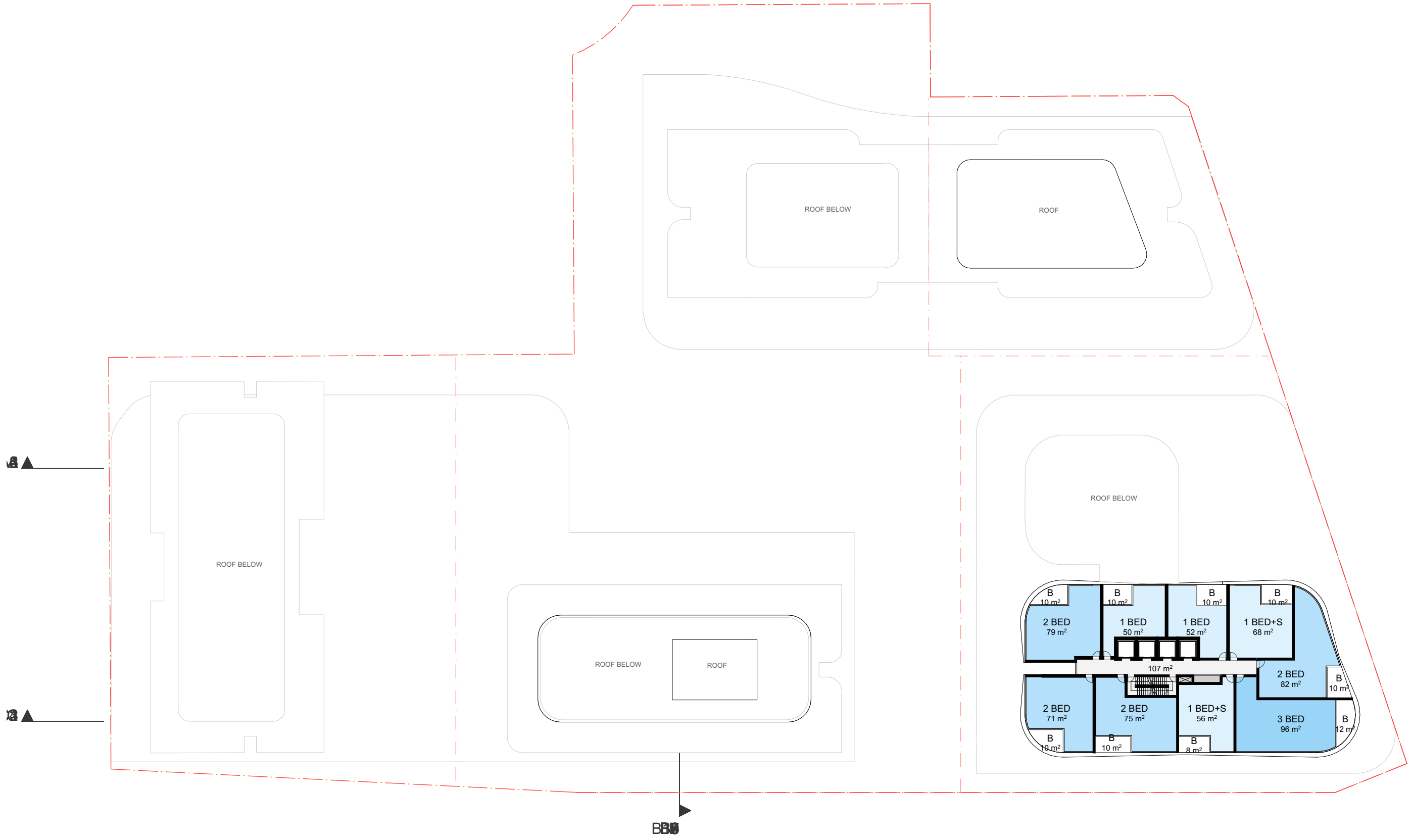




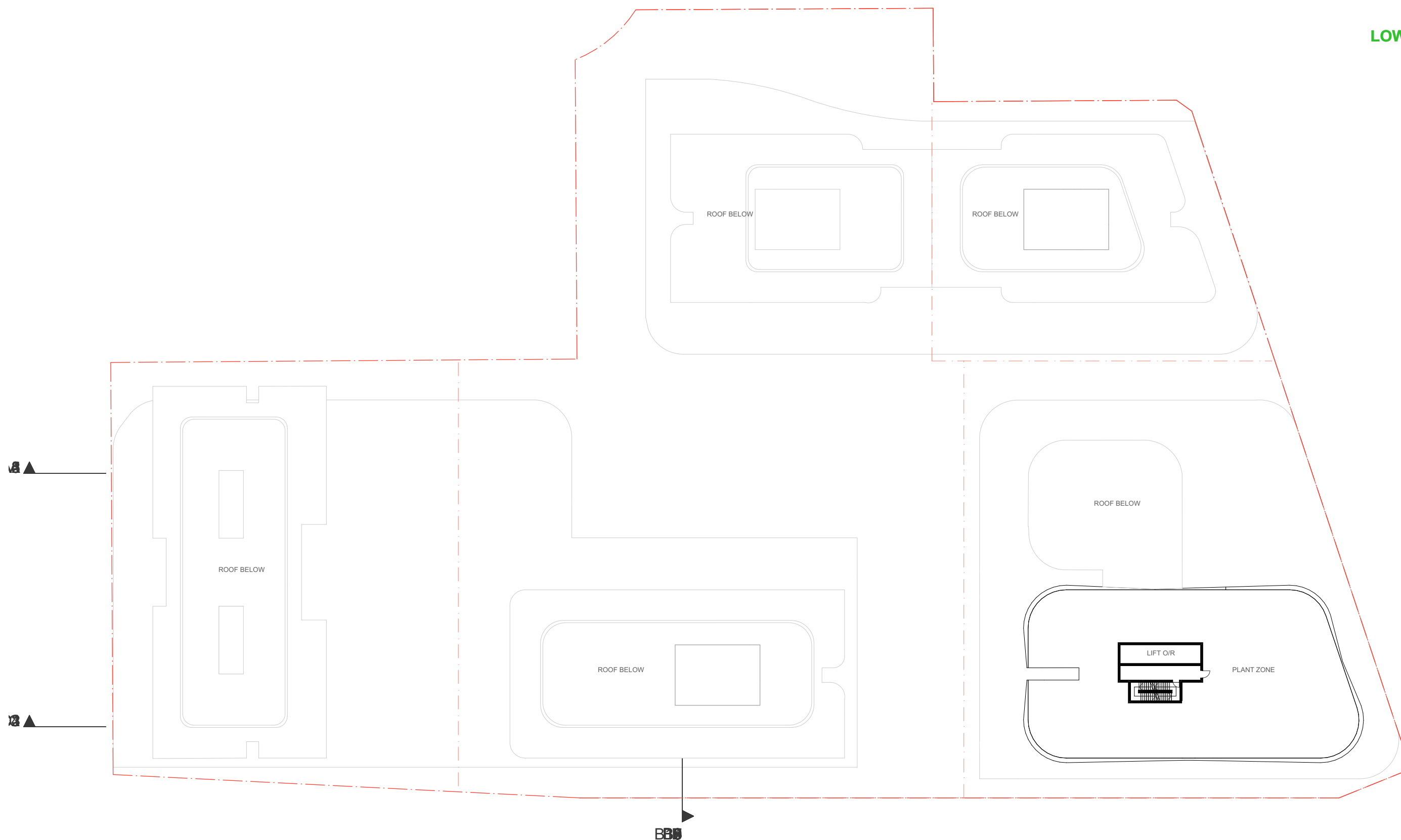


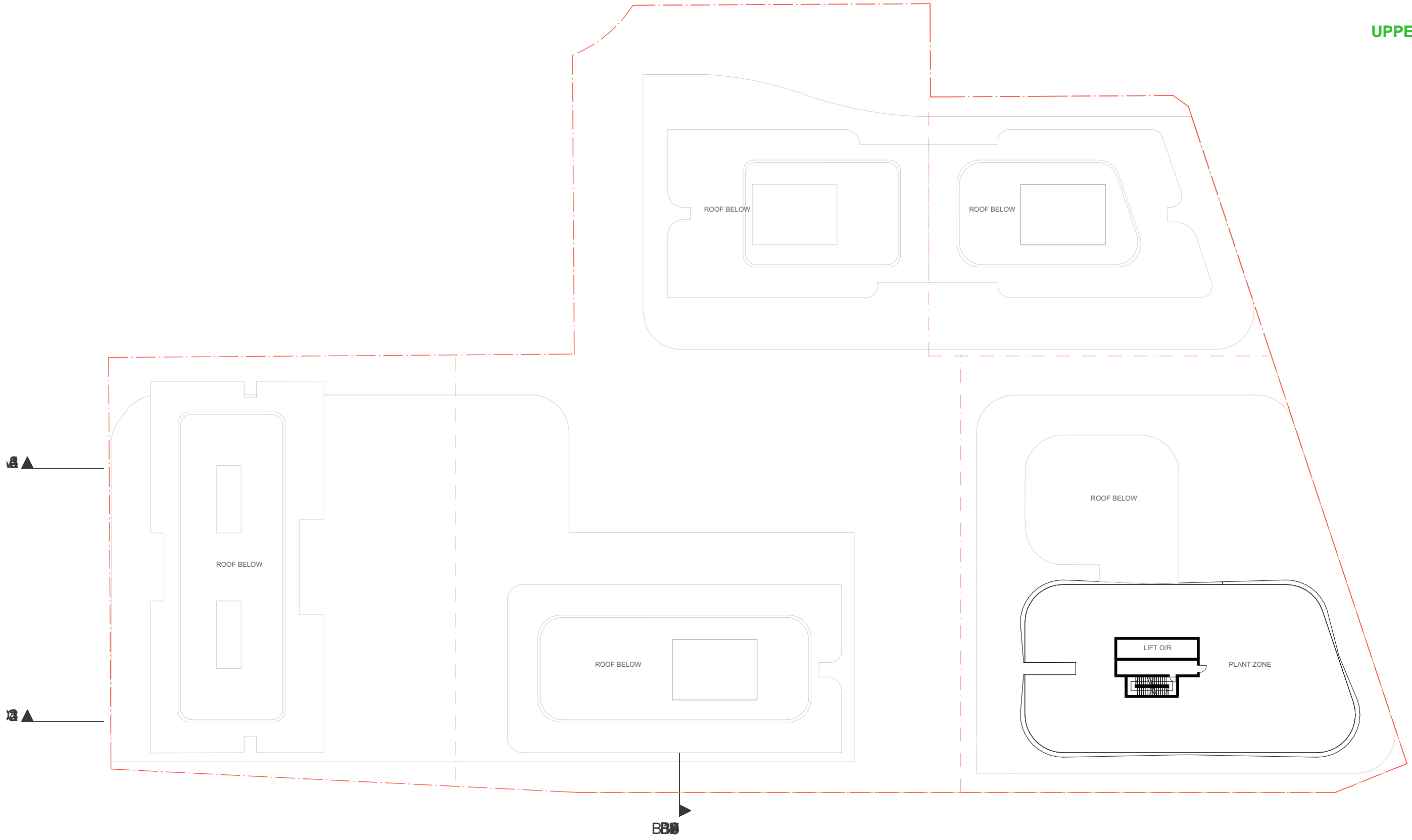












CABRAMATTA EAST PRECINCT
DEVELOPMENT SCHEDULE

Job No 20073
File
Date 15/06/2018



SITE AREA: 12507 SQ.M.
(COMBINED SITE)

	CARPARK		SERVICES/CIRC	RETAIL	COMMERCIAL	HOTEL / CLUB CHURCH / DAY CARE	Area	RESIDENTIAL					BALCONIES	AREA PER LEVEL			FLOOR EFFICIENCY (EX CARS & BALCONIES) %					
	NO	Area						Area	Area	Area	Area	MIX						Area	Sellable area	(EX BALCONIES)		
												50-59sqm 1 Bed		60-69sqm 1 Bed+S2	70-74sqm 2 Bed/1 Bath	75-89sqm 2 Bed/2 Bath				90-110sqm 3 Bed	GBA*	GFA*
Basement 3	357	12425												12425								
Basement 2	357	12425												12425								
Basement 1	289	12425												12425								
Ground Floor				5187	291	975	0							6453	8801	7628	73.32%					
Level 1				551	6721	998	0							8270	8802	8243	93.96%					
Level 2							3269	14	1	6	20	5		3269	4167	3727	78.45%					
Level 3-8							19614	84	6	36	120	30		19614	25002	22362	78.45%					
Level 9-11							9087	42	6	15	51	15		9087	11541	7836	78.74%					
Level 12							1788	9	2	4	9	2		1788	2279	2040	78.46%					
Level 13							1788	9	2	4	9	2		1788	2279	2040	78.46%					
Level 14-15							3576	18	4	8	18	4		3576	4558	4080	78.46%					
Level 16							629	3	1	1	3	1		629	789	712	79.72%					
Level 17							629	3	1	1	3	1		629	789	712	79.72%					
Level 18							629	3	1	1	3	1		629	789	712	79.72%					
Totals	1003	37275	0	5738	7018	1973	41009	185	24	76	236	61		55726	107072	60092						
	sqm/car = 37.2							TOTAL APARTMENTS = 582														
								36%		41%		10%										
								209		312		61										
DEVELOPMENT GFA*:			60092 SQ.M.																			
TOTAL FSR ACHIEVED:			4.80 :1																			

	REQUIRED	PROVIDED
RESIDENTIAL CAR SPACES (VISITOR INCLUDED)	616	650
RETAIL/COMM CAR SPACES (REDUCED BY 40%)	353	353
PUBLIC CAR SPACES (FISHER ST.)		
T	969	1003

PARKING RATES FOR SUB-REGIONAL CENTRE

1bed	0.6	Commercial	1.0	per 25sqm at ground level
2bed	0.9		1.0	per 40sqm above ground level
3bed	1.4	Retail	1.0	per 25sqm at ground level
Visitor	1.0			
per dwellings 5				

DEFINITIONS:

GFA: GROSS FLOOR AREA AS DEFINED BY COUNCIL FOR THE PURPOSES OF DERIVING A FLOOR SPACE RATIO. TYPICALLY DEFINED AS THE SUM OF THE FLOOR AREA OF A BUILDING MEASURED FROM THE INTERNAL FACE OF EXTERNAL WALLS OR FROM THE INTERNAL FACE OF WALLS SEPARATING THE BUILDING FROM ANY OTHER BUILDING, AND INCLUDES:
*THE AREA OF A MEZZANINE
*HABITABLE ROOMS IN A BASEMENT OR ATTIC
*ANY SHOP, AUDITORIUM, CINEMA, AND THE LIKE IN A BASEMENT OR ATTIC
BUT EXCLUDES:
*ANY AREA FOR COMMON VERTICAL CIRCULATION INCLUDING LIFTS AND STAIRS
*ANY BASEMENT STORAGE, VEHICULAR ACCESS, LOADING AREA, GARBAGE AND SERVICES
*PLANT ROOMS, LIFT TOWERS, AND OTHER AREAS USED EXCLUSIVELY FOR MECHANICAL SERVICES OR DUCTING
*CARPARKING TO MEET THE REQUIREMENTS OF THE CONSENT AUTHORITY (INCLUDING ACCESS TO THAT PARKING)
*ANY SPACE USED FOR THE LOADING AND UNLOADING OF GOODS (INCLUDING ACCESS TO IT)
*TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4M HIGH
*VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STORE ABOVE

GBA: DEFINED AS THE SUM OF THE AREA OF EACH FLOORPLATE, MEASURED TO THE EXTERNAL FACE OF FAÇADE WALLS BUT NOT INCLUSIVE OF BALCONIES

FLOOR EFFICIENCY: DEFINED AS THE PERCENTAGE OF SELLABLE AREA VERSUS GROSS BUILDING AREA



CABRAMATTA EAST PRECINCT
DEVELOPMENT SCHEDULE

Job No 20073
File
Date 15/06/2018

STAGE A



SITE AREA: 5795 SQ.M.
(COMBINED SITE)

	CARPARK		SERVICES/CIRC	RETAIL	COMMERCIAL	HOTEL / CLUB CHURCH / DAY CARE	RESIDENTIAL					BALCONIES	AREA PER LEVEL			FLOOR EFFICIENCY (EX CARS & BALCONIES) %	
	NO	Area					Area	Area	Area	Area	MIX						
											50-59sqm 1 Bed		60-69sqm 1 Bed+S	70-74sqm 2 Bed/1 Bath	75-89sqm 2 Bed/2 Bath		90-110sqm 3 Bed
Basement 3	153	5795												5795			
Basement 2	153	5795												5795			
Basement 1	122	5795												5795			
Ground Floor				1673	72	471	0							2216	3082	2704	71.90%
Level 1				551	1898	480	0							2929	3082	2900	95.04%
Level 2							1170	7		3	5	2		1170	1501	1348	77.95%
Level 3-8							7020	42		18	30	12		7020	9006	8088	77.95%
Level 9-11							3510	21		9	15	6		3510	4503	4044	77.95%
Level 12							683	4		2	3	1		683	860	776	79.42%
Level 13							683	4		2	3	1		683	860	776	79.42%
Level 14-15							1366	8		4	6	2		1366	1720	1440	79.42%
Level 16																	
Level 17																	
Level 18																	
Totals	428	17385	0	2236	1970	951	14432	86	0	38	62	24		19577	41999	22076	
	sqm/car = 40.6							TOTAL APARTMENTS = 210									
								41%		30%		11%					
								86		100		24					

DEVELOPMENT GFA*:	22076 SQ.M.
TOTAL FSR ACHIEVED:	3.81 :1

	REQUIRED	PROVIDED
RESIDENTIAL CAR SPACES (VISITOR INCLUDED)	221	242
RETAIL/COMM CAR SPACES (REDUCED BY 40%)	123	122
PUBLIC CAR SPACES (FISHER ST.)		
T	344	364

PARKING RATES FOR SUB-REGIONAL CENTRE

1bed	0.6	Commercial	1.0	per 25sqm at ground level
2bed	0.9		1.0	per 40sqm above ground level
3bed	1.4	Retail	1.0	per 25sqm at ground level
Visitor	1.0			per dwellings 5

DEFINITIONS:

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*ANY SPACE USED FOR THE LOADING AND UNLOADING OF GOODS (INCLUDING ACCESS TO IT)
*TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4M HIGH
*VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STORE ABOVE

GBA: DEFINED AS THE SUM OF THE AREA OF EACH FLOORPLATE, MEASURED TO THE EXTERNAL FACE OF FAÇADE WALLS BUT NOT INCLUSIVE OF BALCONIE

FLOOR EFFICIENCY: DEFINED AS THE PERCENTAGE OF SELLABLE AREA VERSUS GROSS BUILDING ARE/

CABRAMATTA EAST PRECINCT
DEVELOPMENT SCHEDULE

Job No 20073
File
Date 15/06/2018

STAGE B



SITE AREA: 2828 SQ.M.
(COMBINED SITE)

	CARPARK		SERVICES/CIRC	RETAIL	COMMERCIAL	HOTEL / CLUB CHURCH / DAY CARE	RESIDENTIAL						BALCONIES	AREA PER LEVEL			FLOOR EFFICEINCY (EX CARS & BALCONIES) %				
	NO	Area					Area	Area	Area	Area	MIX					Area		Sellable area (EX BALCONIES)	GBA*	GFA*	
											50-59sqm 1 Bed	60-69sqm 1 Bed+S		70-74sqm 2 Bed/1 Bath	75-89sqm 2 Bed/2 Bath						90-110sqm 3 Bed
Basement 3	87	2828												2828							
Basement 2	87	2828												2828							
Basement 1	67	2828												2828							
Ground Floor				1749	130									1879	2367	1966	79.38%				
Level 1					2185									2185	2371	2185	92.16%				
Level 2						869		3		2	6	1		869	1108	989	78.43%				
Level 3-8						5214		18		12	36	6		5214	6648	5934	78.43%				
Level 9-11						1887		9	3	3	9	3		1887	2367	2136	79.72%				
Level 12						629		3	1	1	3	1		629	789	712	79.72%				
Level 13						629		3	1	1	3	1		629	789	712	79.72%				
Level 14-15						1258		6	2	2	6	2		1258	1578	1424	79.72%				
Level 16						629		3	1	1	3	1		629	789	712	79.72%				
Level 17						629		3	1	1	3	1		629	789	712	79.72%				
Level 18						629		3	1	1	3	1		629	789	712	79.72%				
Totals	241	8484	0	1749	2315	0	12373	51	10	24	72	17		16437	28868	18194					
	sqm/car = 35.2							TOTAL APARTMENTS = 174													
								35%		41%		10%									
								61		96		17									

DEVELOPMENT GFA*:	18194 SQ.M.
TOTAL FSR ACHIEVED:	6.43 :1

	REQUIRED	PROVIDED
RESIDENTIAL CAR SPACES (VISITOR INCLUDED)	184	174
RETAIL/COMM CAR SPACES (REDUCED BY 40%)	98	67
PUBLIC CAR SPACES (FISHER ST.)		
T	282	241

PARKING RATES FOR SUB-REGIONAL CENTRE

1bed	0.6	Commercial	1.0	per 25sqm at ground level
2bed	0.9		1.0	per 40sqm above ground level
3bed	1.4	Retail	1.0	per 25sqm at ground level
Visitor	1.0			per dwellings 5

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BUT EXCLUDES:
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Date 15/06/2018

STAGE C



SITE AREA: 1333 SQ.M.
(COMBINED SITE)

	CARPARK		SERVICES/CIRC	RETAIL	COMMERCIAL	HOTEL / CLUB CHURCH / DAY CARE	RESIDENTIAL					BALCONIES	AREA PER LEVEL			FLOOR EFFICEINCY (EX CARS & BALCONIES) %		
	NO	Area	Area	Area	Area	Area	Area	MIX					Area	Sellable area	(EX BALCONIES)			
								50-59sqm 1 Bed	60-69sqm 1 Bed+S	70-74sqm 2 Bed/1 Bath	75-89sqm 2 Bed/2 Bath	90-110sqm 3 Bed			GBA*	GFA*		
Basement 3	40	1333												1333				
Basement 2	40	1333												1333				
Basement 1	34	1333												1333				
Ground Floor				614	89									703	1186	1186	59.27%	
Level 1					1100									1100	1190	1100	92.44%	
Level 2						476		2	1	1	3			476	630	552	75.56%	
Level 3-8						2856		12	6	6	18			2856	3780	3312	75.56%	
Level 9-11						1428		6	3	3	9			1428	1890	1656	75.56%	
Level 12						476		2	1	1	3			476	630	552	75.56%	
Level 13						476		2	1	1	3			476	630	552	75.56%	
Level 14-15						952		4	2	2	6			952	1260	1104	75.56%	
Level 16																		
Level 17																		
Level 18																		
Totals	114	3999	0	614	1189	0	6664	28	14	14	42	0		8467	15195	10014		
	sqm/car = 35.1							TOTAL APARTMENTS = 98										
								43%		43%		0%						
								42		56		0						

DEVELOPMENT GFA*:	10014 SQ.M.
TOTAL FSR ACHIEVED:	7.51 :1

	REQUIRED	PROVIDED
RESIDENTIAL CAR SPACES (VISITOR INCLUDED)	97	80
RETAIL/COMM CAR SPACES (REDUCED BY 40%)	43	34
PUBLIC CAR SPACES (FISHER ST.)		
T	140	114

PARKING RATES FOR SUB-REGIONAL CENTRE

1bed	0.6	Commercial	1.0	per 25sqm at ground level
2bed	0.9		1.0	per 40sqm above ground level
3bed	1.4	Retail	1.0	per 25sqm at ground level
Visitor	1.0	per dwellings 5		

DEFINITIONS:

GFA: GROSS FLOOR AREA AS DEFINED BY COUNCIL FOR THE PURPOSES OF DERIVING A FLOOR SPACE RATIO. TYPICALLY DEFINED AS THE SUM OF THE FLOOR AREA OF A BUILDING MEASURED FROM THE INTERNAL FACE OF EXTERNAL WALLS OR FROM THE INTERNAL FACE OF WALLS SEPARATING THE BUILDING FROM ANY OTHER BUILDING, AND INCLUDES:
*THE AREA OF A MEZZANINE
*HABITABLE ROOMS IN A BASEMENT OR ATTIC
*ANY SHOP, AUDITORIUM, CINEMA, AND THE LIKE IN A BASEMENT OR ATTIC
BUT EXCLUDES:
*ANY AREA FOR COMMON VERTICAL CIRCULATION INCLUDING LIFTS AND STAIRS
*ANY BASEMENT STORAGE, VEHICULAR ACCESS, LOADING AREA, GARBAGE AND SERVICES
*PLANT ROOMS, LIFT TOWERS, AND OTHER AREAS USED EXCLUSIVELY FOR MECHANICAL SERVICES OR DUCTING
*CARPARKING TO MEET THE REQUIREMENTS OF THE CONSENT AUTHORITY (INCLUDING ACCESS TO THAT PARKING)
*ANY SPACE USED FOR THE LOADING AND UNLOADING OF GOODS (INCLUDING ACCESS TO IT)
*TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4M HIGH
*VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STORE ABOVE

GBA: DEFINED AS THE SUM OF THE AREA OF EACH FLOORPLATE, MEASURED TO THE EXTERNAL FACE OF FAÇADE WALLS BUT NOT INCLUSIVE OF BALCONIES

FLOOR EFFICIENCY: DEFINED AS THE PERCENTAGE OF SELLABLE AREA VERSUS GROSS BUILDING AREA

CABRAMATTA EAST PRECINCT
DEVELOPMENT SCHEDULE
Job No 20073
File
Date 15/06/2018

STAGE D



SITE AREA: 2469 SQ.M.
(COMBINED SITE)

	CARPARK		SERVICES/CIRC	RETAIL	COMMERCIAL	HOTEL / CLUB CHURCH / DAY CARE	RESIDENTIAL					BALCONIES	AREA PER LEVEL			FLOOR EFFICEINCY (EX CARS & BALCONIES) %		
	NO	Area	Area	Area	Area	Area	Area	MIX					Area	Sellable area	GBA*	GFA*		
								50-59sqm 1 Bed	60-69sqm 1 Bed+S	70-74sqm 2 Bed/1 Bath	75-89sqm 2 Bed/2 Bath	90-110sqm 3 Bed						
Basement 3	77	2469												2469				
Basement 2	77	2469												2469				
Basement 1	66	2469												2469				
Ground Floor				1139		504								1643	2164	1186	75.92%	
Level 1					1544	518								2062	2159	1100	95.51%	
Level 2							754	2			6	2		754	928	838	81.25%	
Level 3-8							4524	12			36	12		4524	5568	5028	81.25%	
Level 9-11							2262	6			18	6		2262	2784	1656	81.25%	
Level 12																		
Level 13																		
Level 14-15																		
Level 16																		
Level 17																		
Level 18																		
Totals	220	7407	0	1139	1544	1022	7540	20	0	0	60	20		11245	21010	9808		
	sqm/car = 33.7							TOTAL APARTMENTS = 100										
								20%		60%		20%						
								20		60		20						

DEVELOPMENT GFA*:	9808 SQ.M.
TOTAL FSR ACHIEVED:	3.97 :1

	REQUIRED	PROVIDED
RESIDENTIAL CAR SPACES (VISITOR INCLUDED)	114	154
RETAIL/COMM CAR SPACES (REDUCED BY 40%)	89	66
PUBLIC CAR SPACES (FISHER ST.)		
T	203	220

PARKING RATES FOR SUB-REGIONAL CENTRE

1bed	0.6	Commercial	1.0	per 25sqm at ground level
2bed	0.9		1.0	per 40sqm above ground level
3bed	1.4	Retail	1.0	per 25sqm at ground level
Visitor	1.0			per dwellings 5

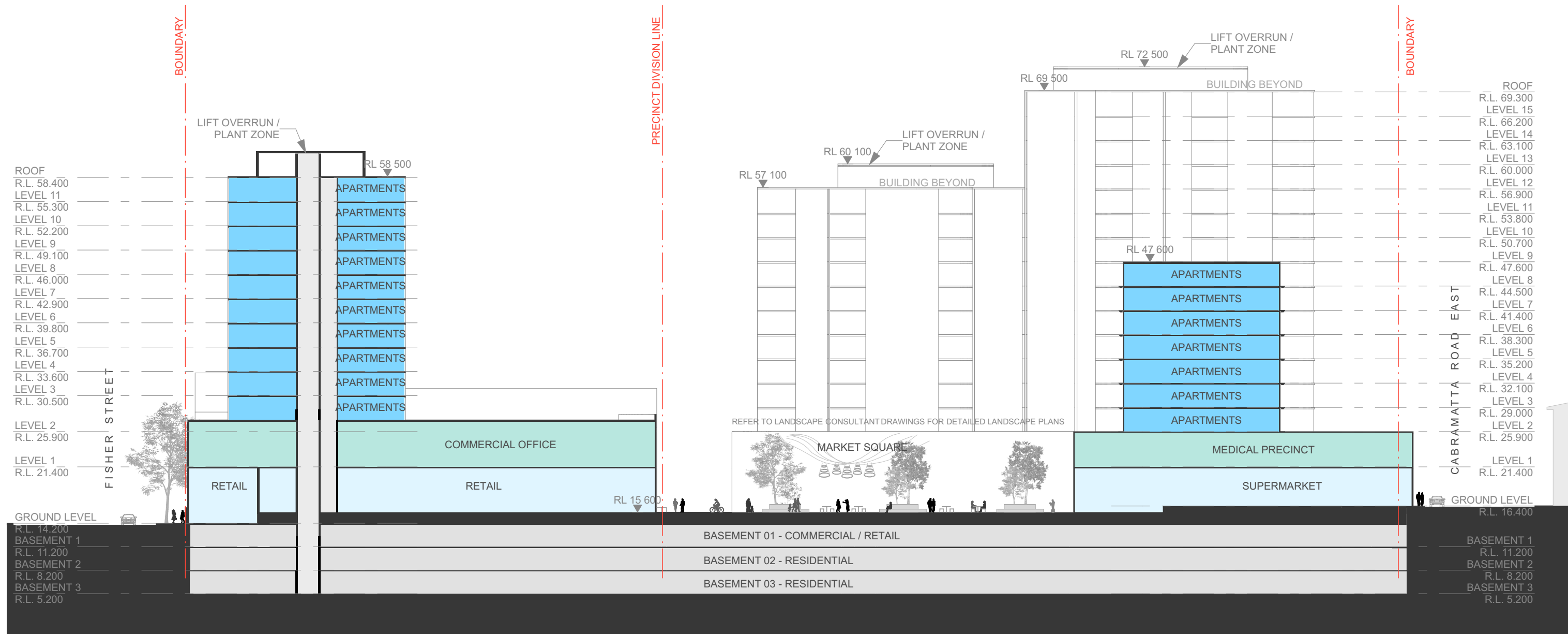
DEFINITIONS:

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BUT EXCLUDES:
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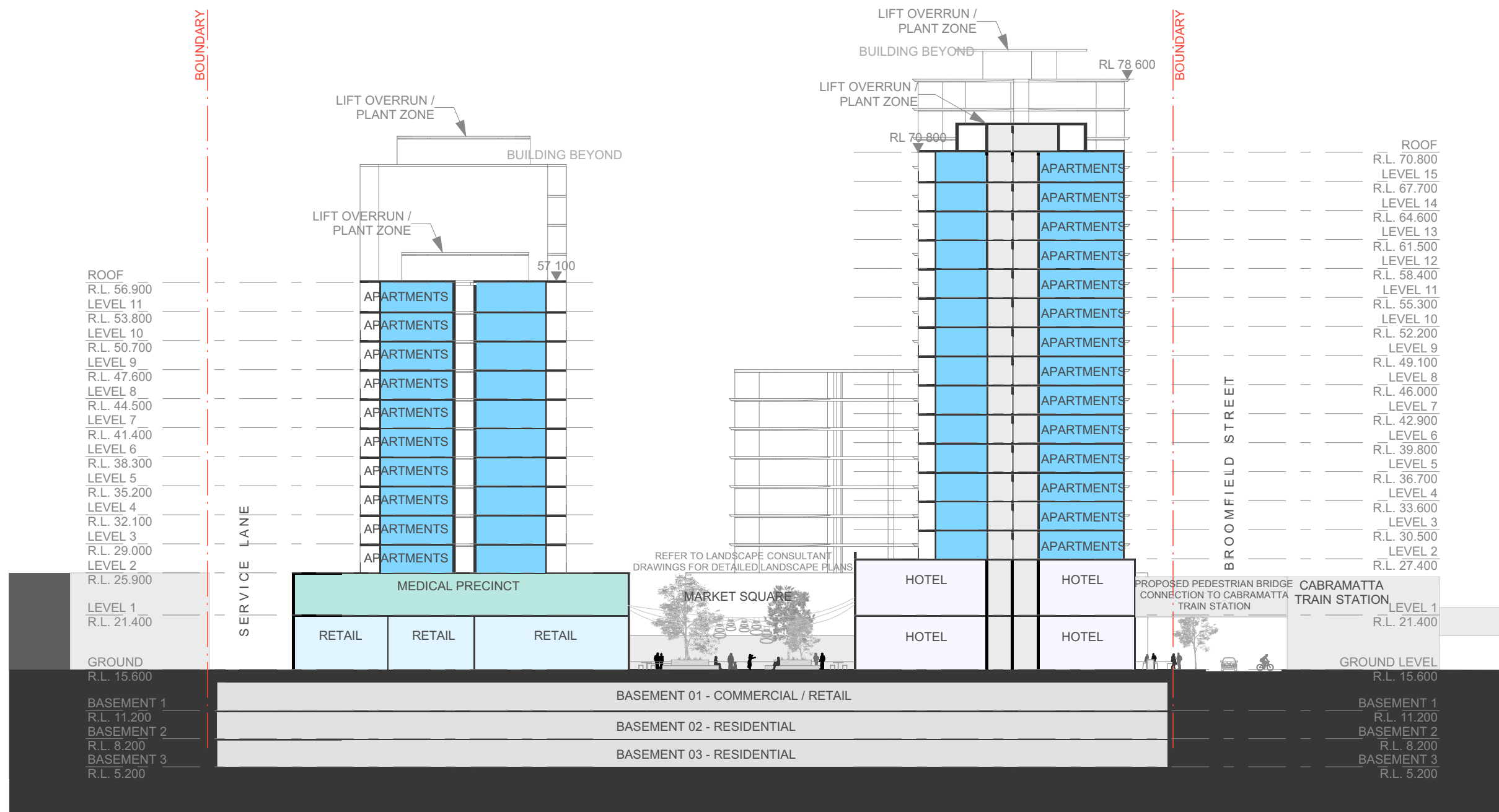
GBA: DEFINED AS THE SUM OF THE AREA OF EACH FLOORPLATE, MEASURED TO THE EXTERNAL FACE OF FAÇADE WALLS BUT NOT INCLUSIVE OF BALCONIES

FLOOR EFFICIENCY: DEFINED AS THE PERCENTAGE OF SELLABLE AREA VERSUS GROSS BUILDING AREA



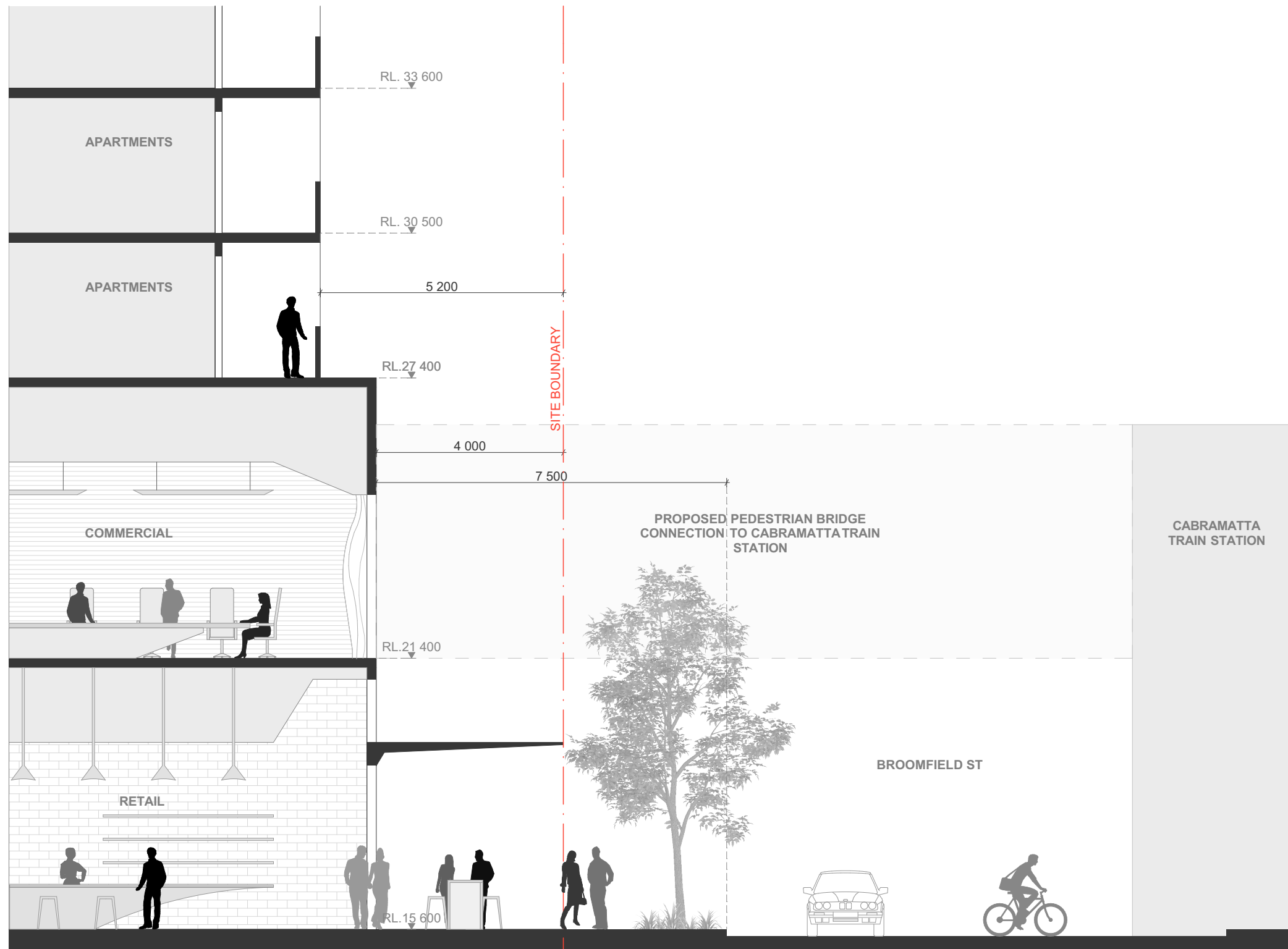


SECTION A 1:500

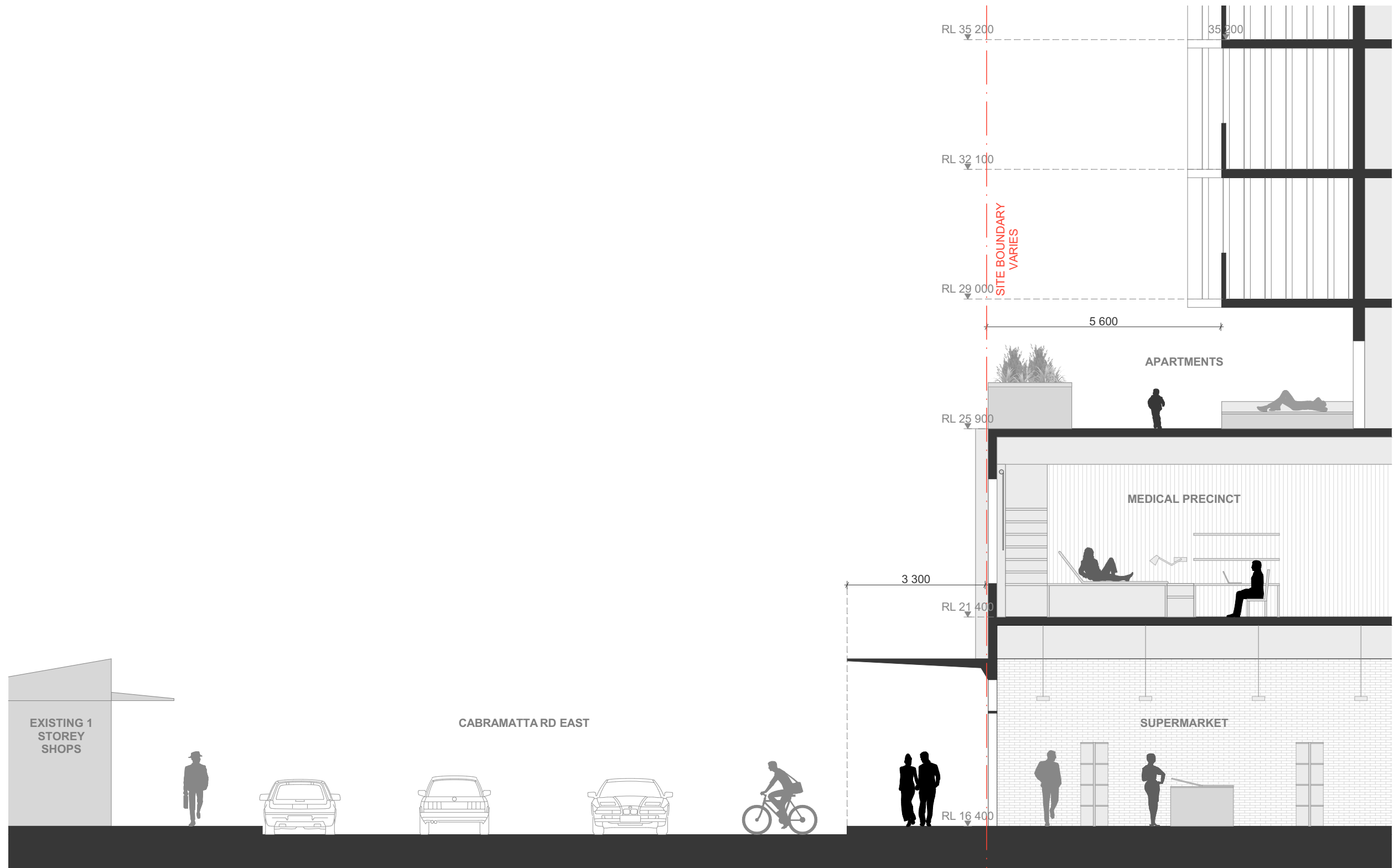


SECTION B 1:500





STREETSCAPE SECTION D 1:100



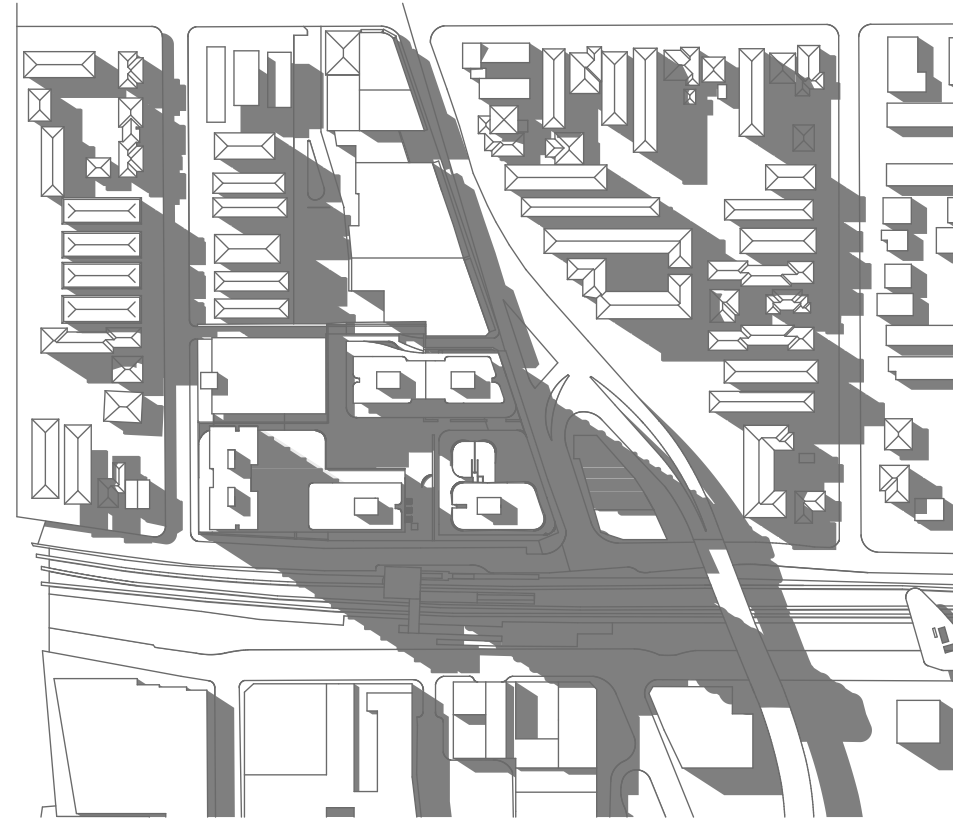
STREETSCAPE SECTION F 1:100

5

SHADOW STUDY



CURRENT: JUNE 21ST - 9AM



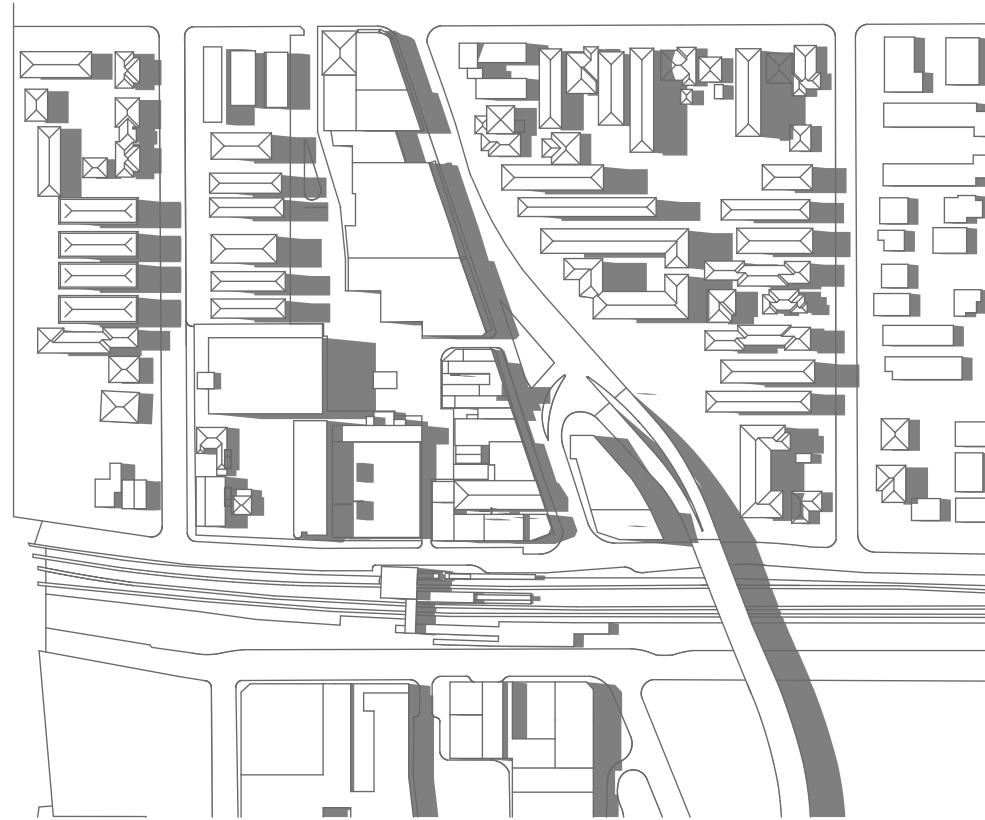
PROPOSED: JUNE 21ST - 9AM



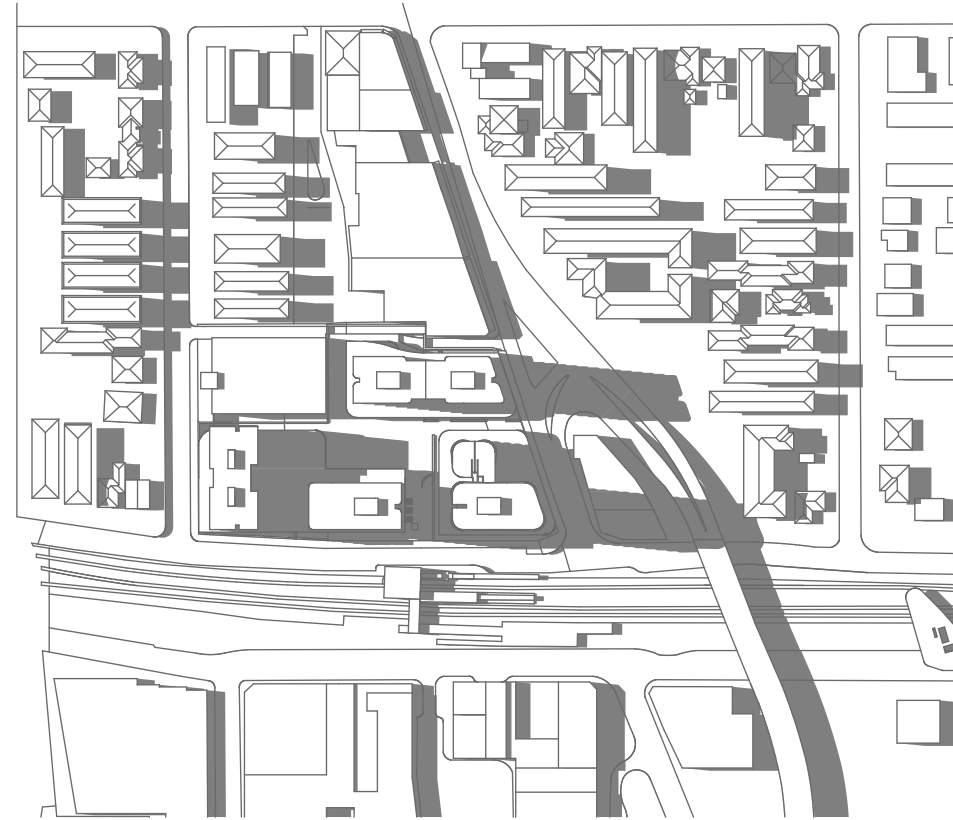
CURRENT: JUNE 21ST - 10AM



PROPOSED: JUNE 21ST - 10AM



CURRENT: JUNE 21ST - 11AM



PROPOSED: JUNE 21ST - 11AM

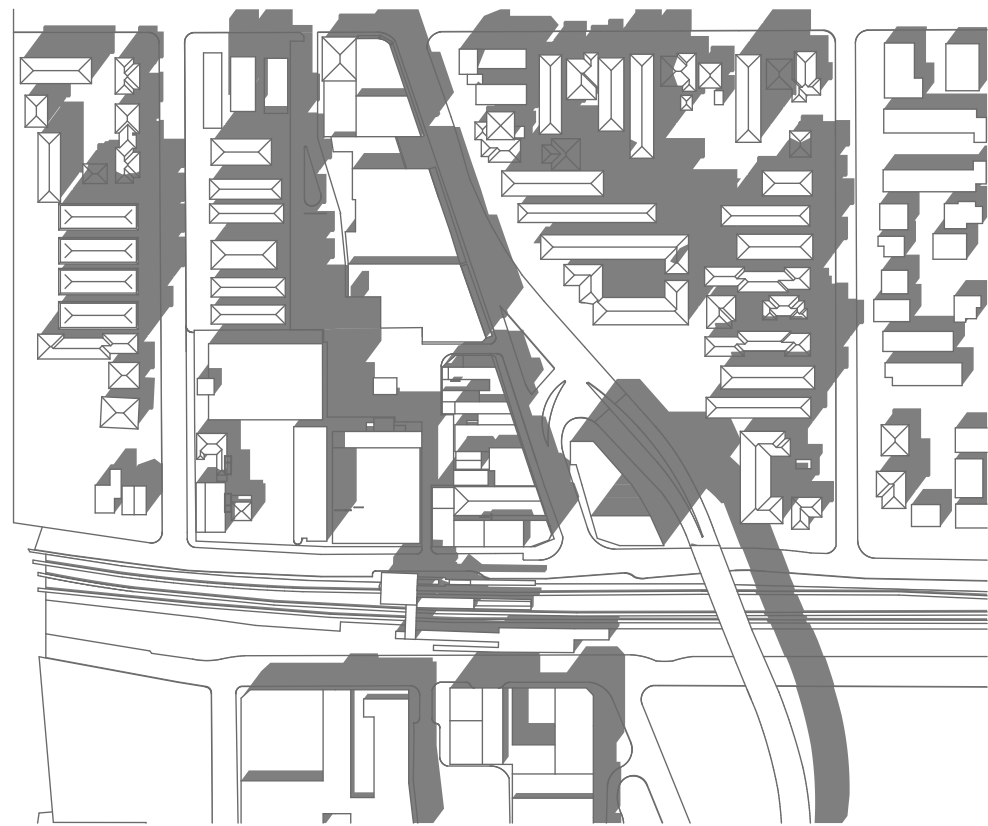


CURRENT: JUNE 21ST - 12PM

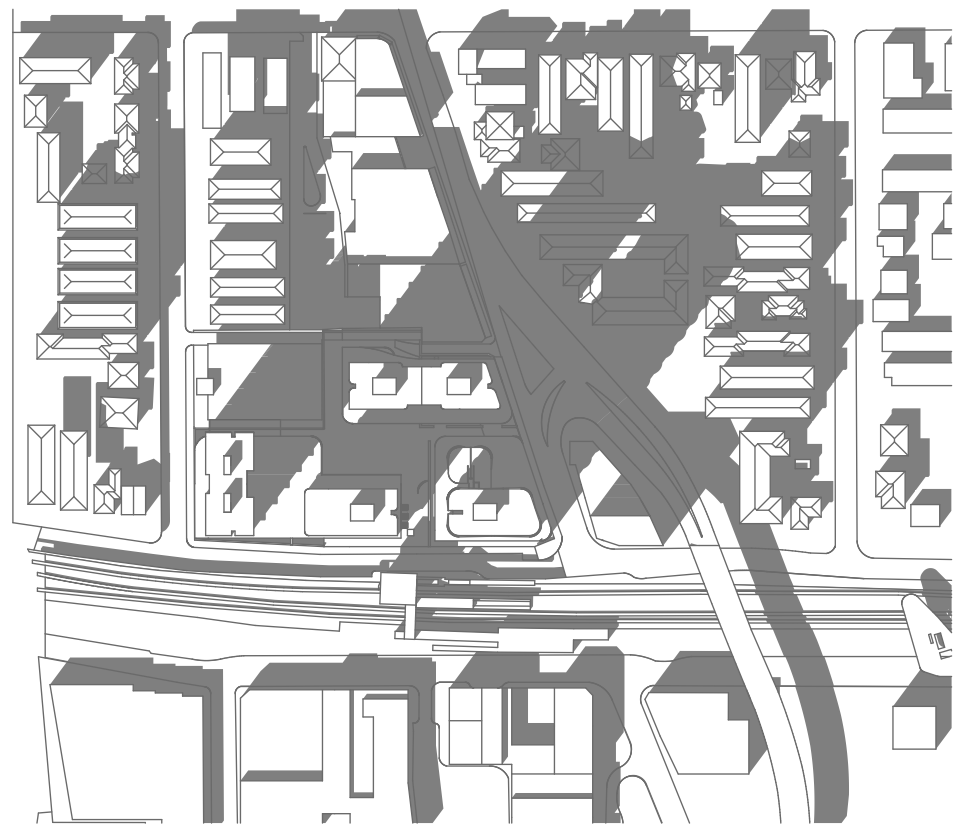


PROPOSED: JUNE 21ST - 12PM

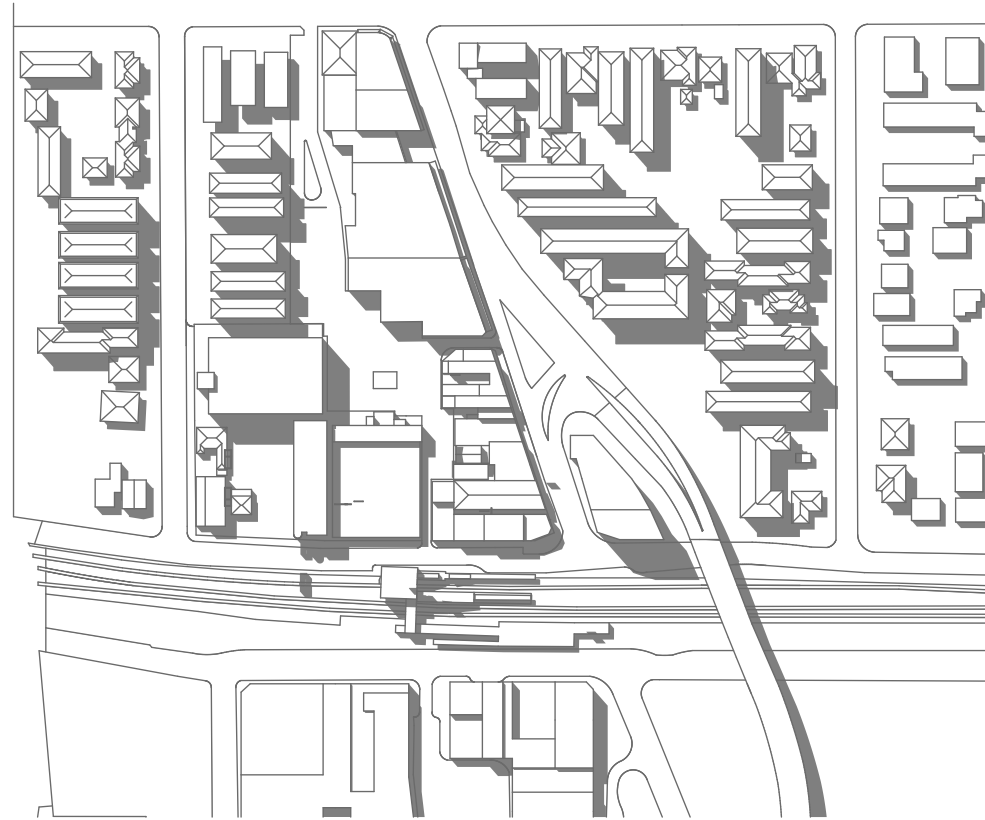




CURRENT: JUNE 21ST - 3PM



PROPOSED: JUNE 21ST - 3PM



CURRENT: SEP 23RD - 9AM



PROPOSED: SEP 23RD - 9AM

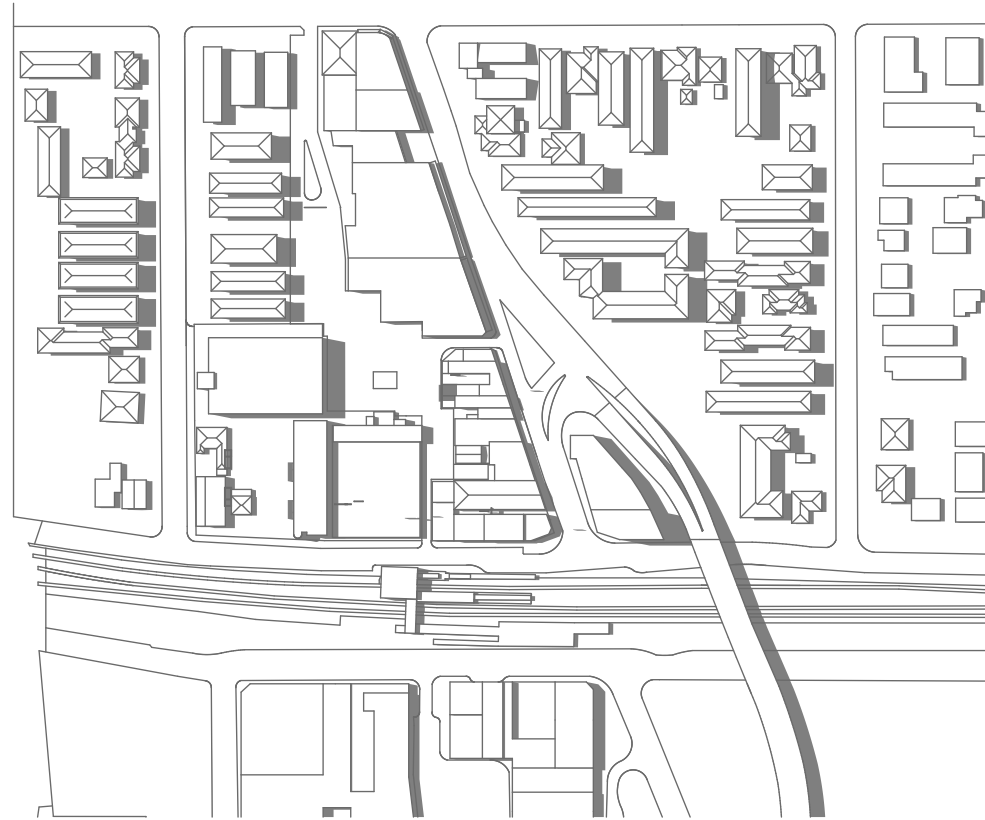


CURRENT: SEP 23RD - 10AM



PROPOSED: SEP 23RD - 10AM

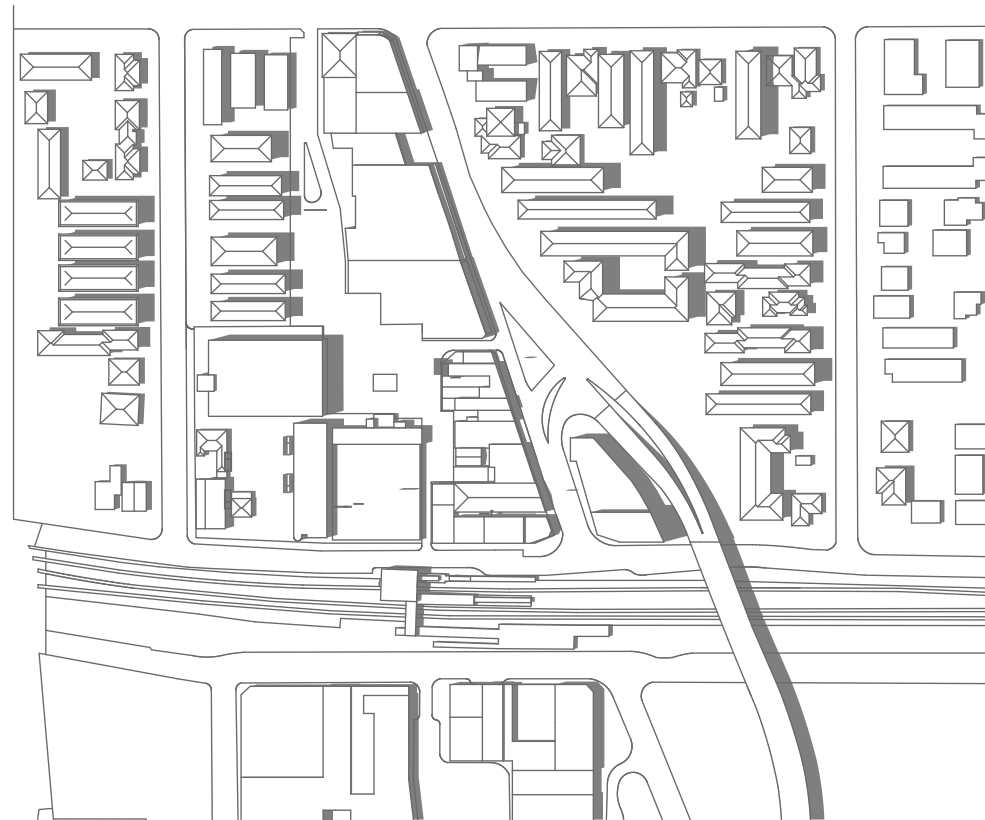




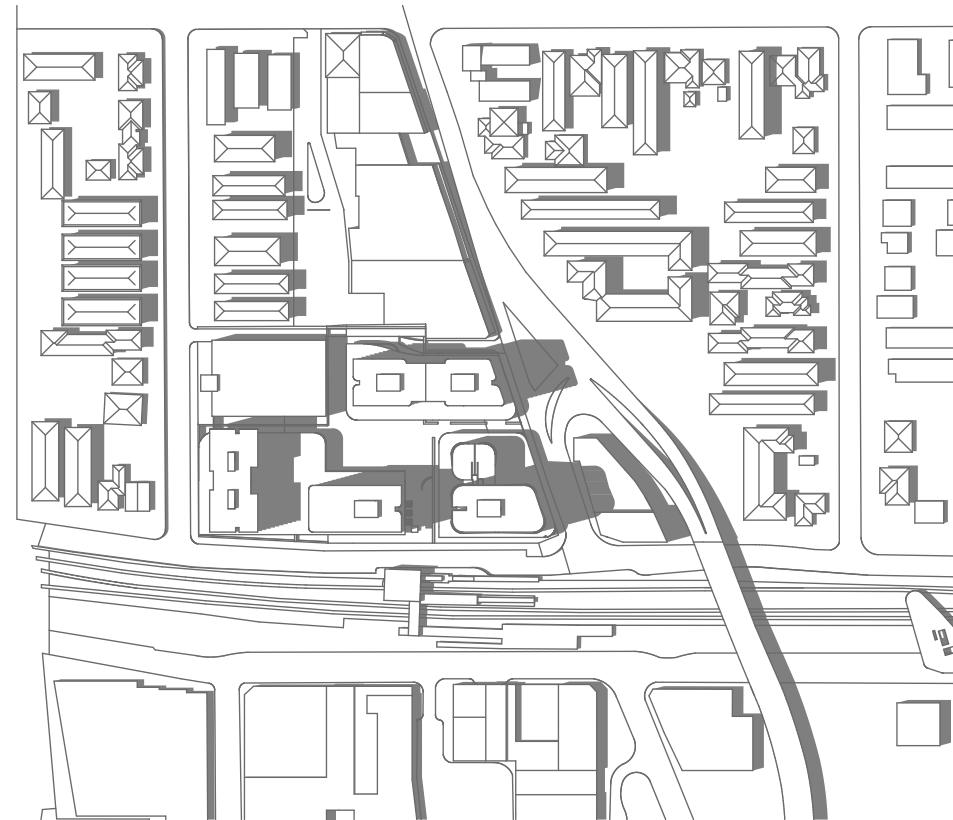
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PROPOSED: SEP 23RD - 11AM



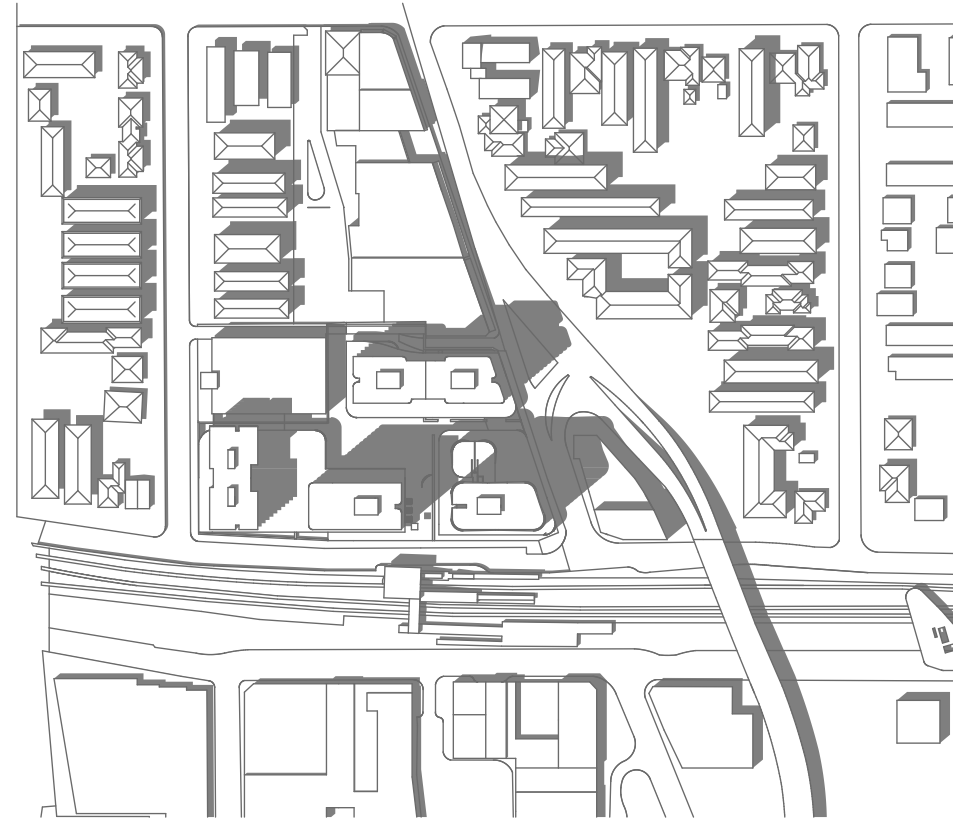
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PROPOSED: SEP 23RD - 12PM



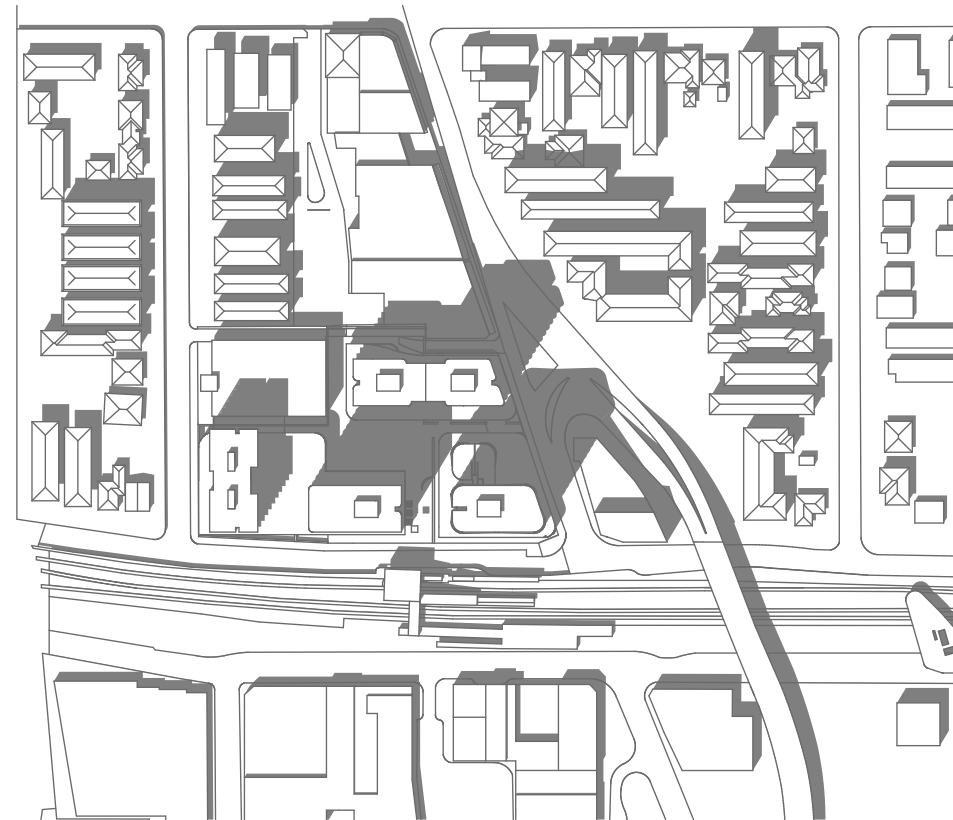
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PROPOSED: SEP 23RD - 1PM

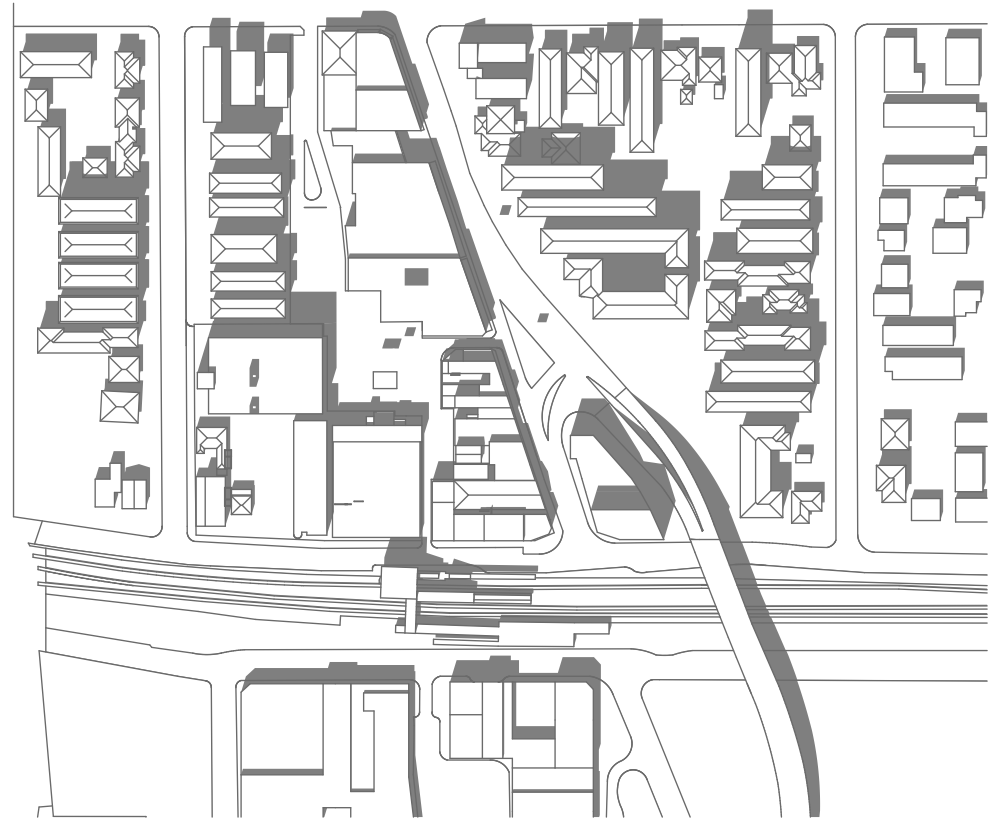


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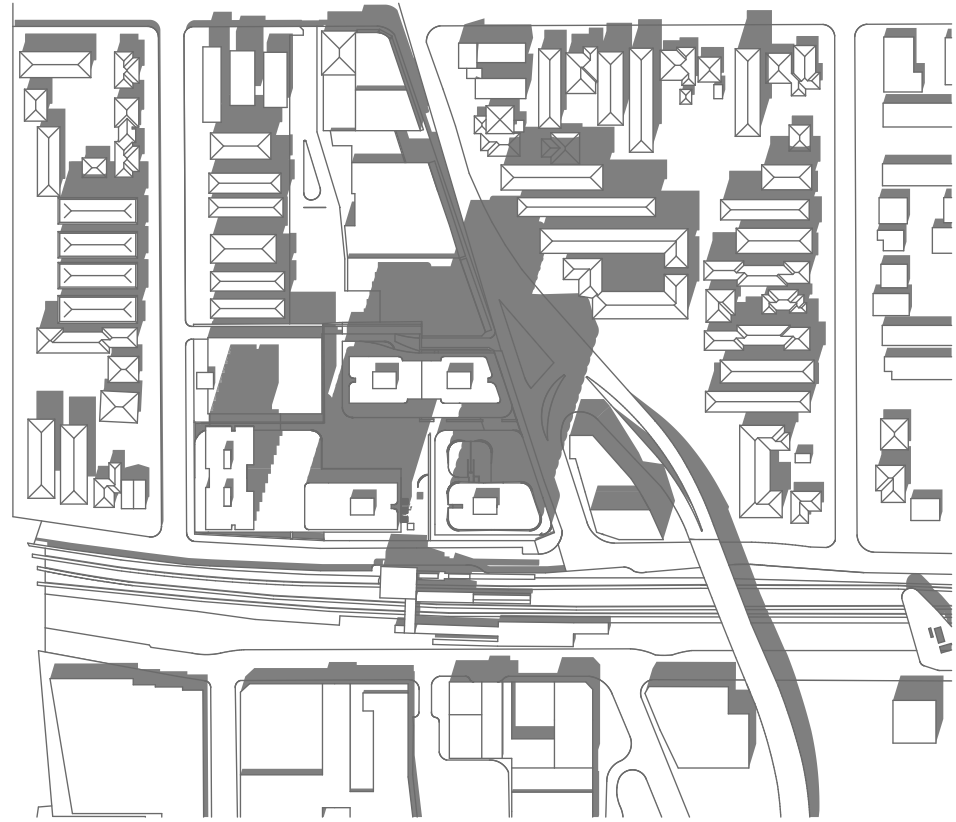


PROPOSED: SEP 23RD - 2PM



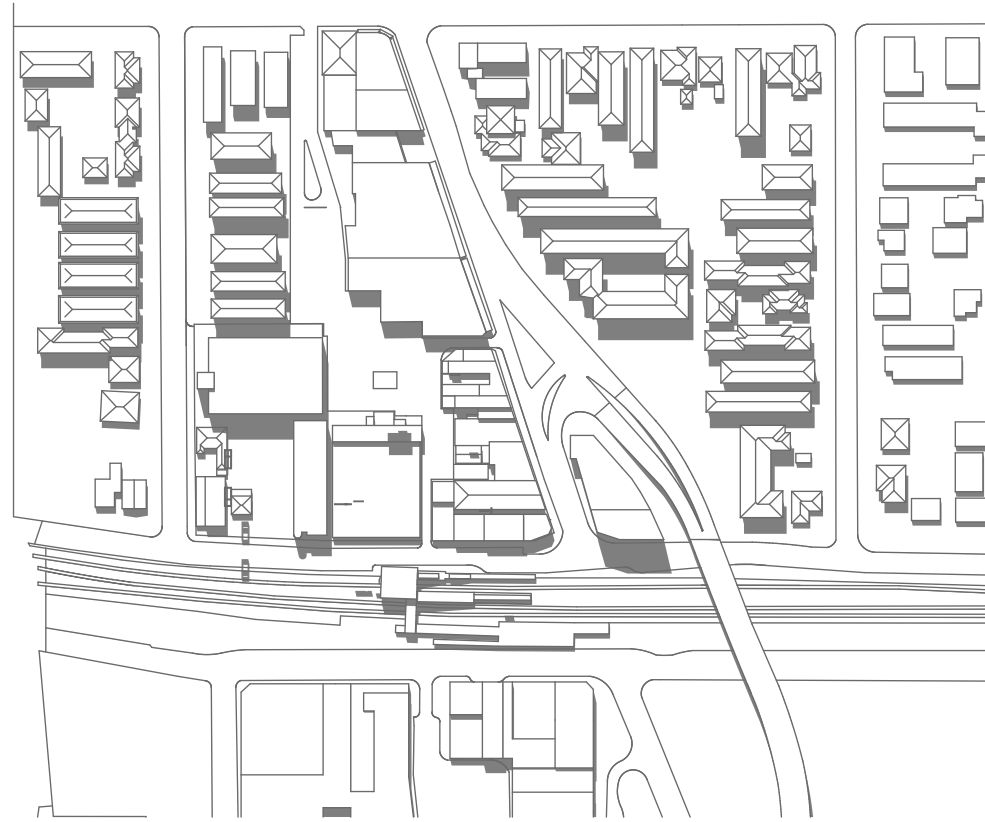


CURRENT: SEP 23RD - 3PM

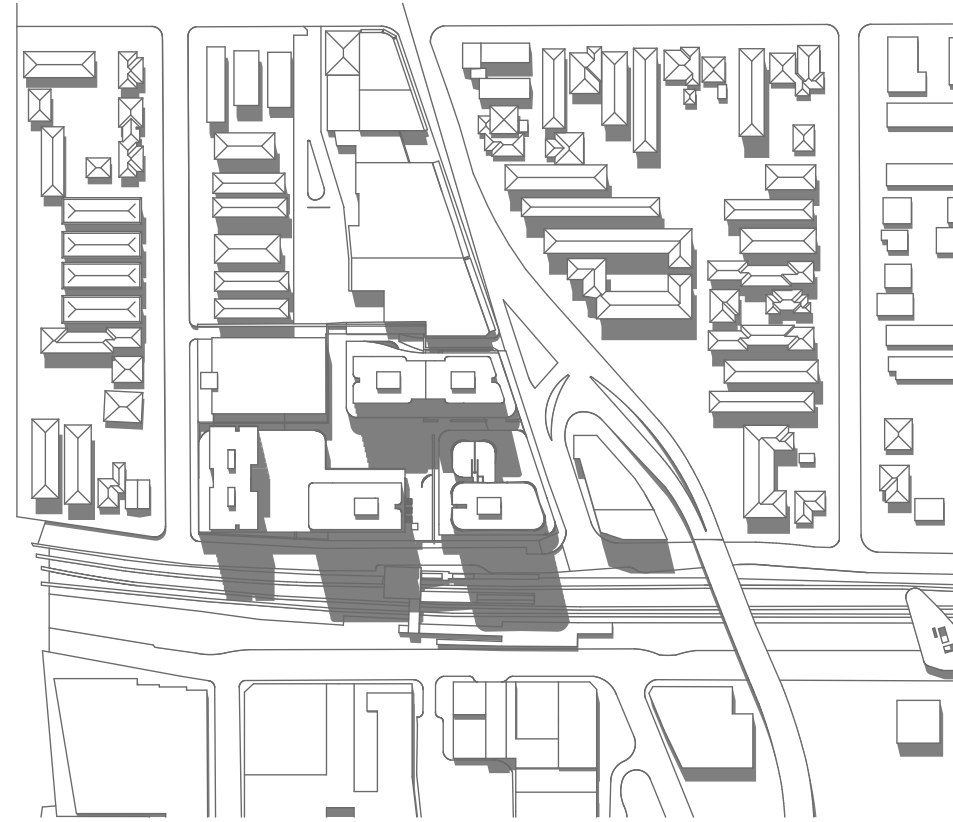


PROPOSED: SEP 23RD - 3PM





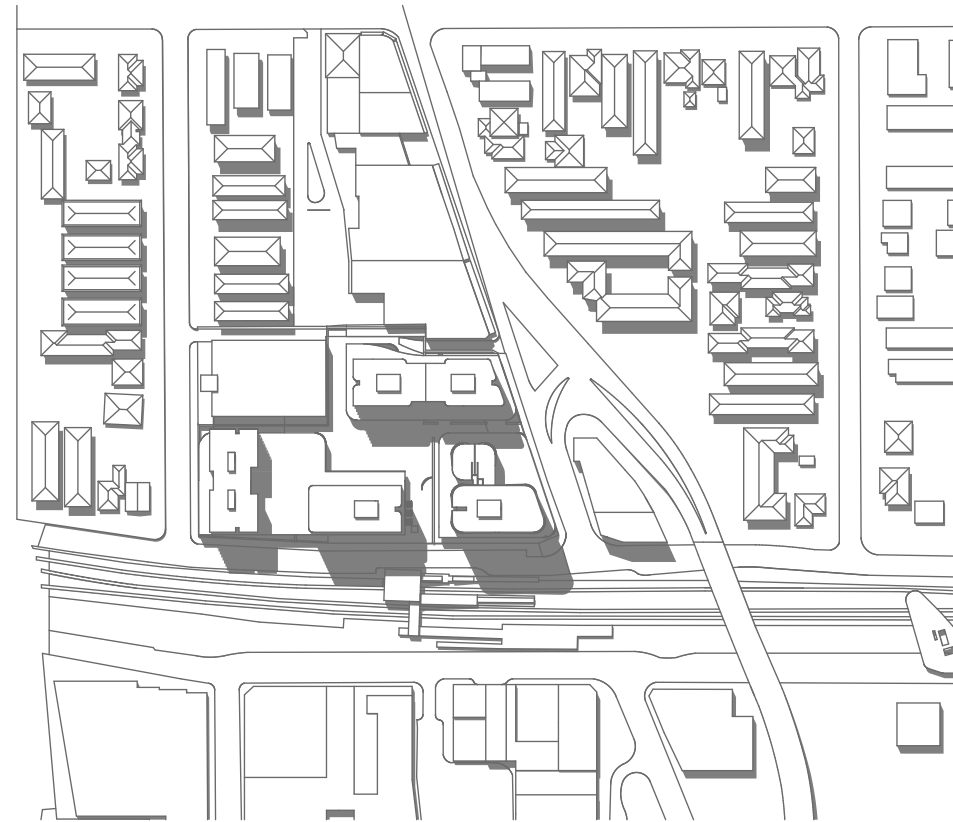
CURRENT: DEC 21ST - 9AM



PROPOSED: DEC 21ST - 9AM

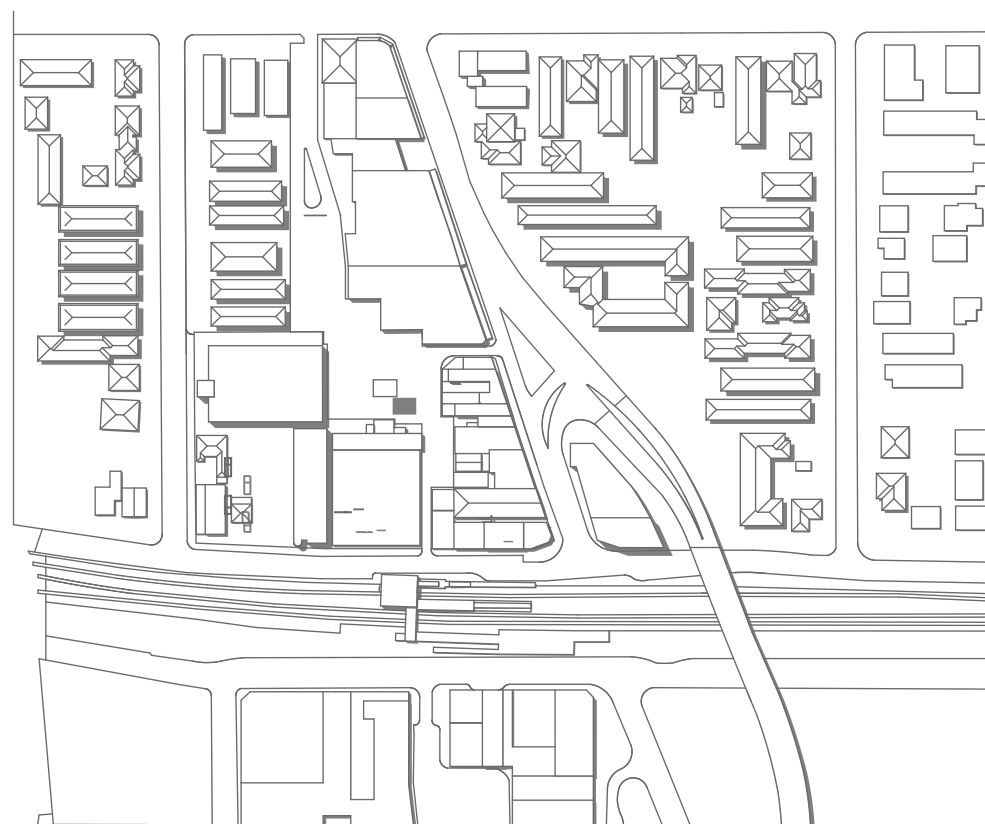


CURRENT: DEC 21ST - 10AM



PROPOSED: DEC 21ST - 10AM

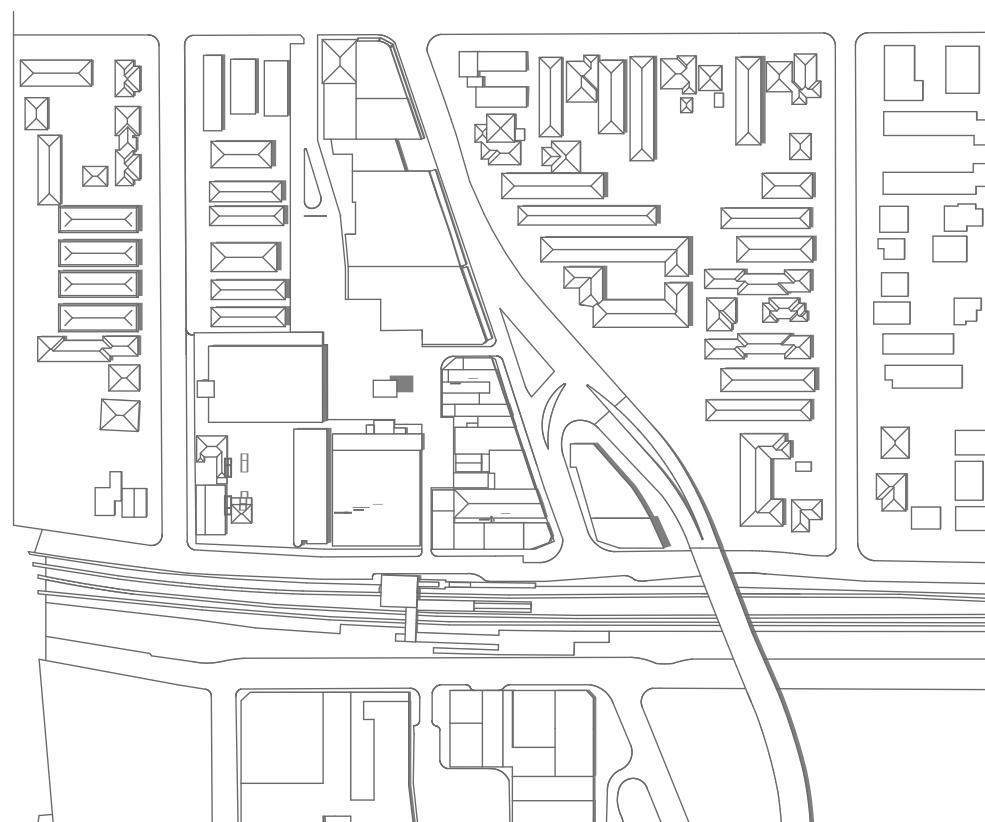




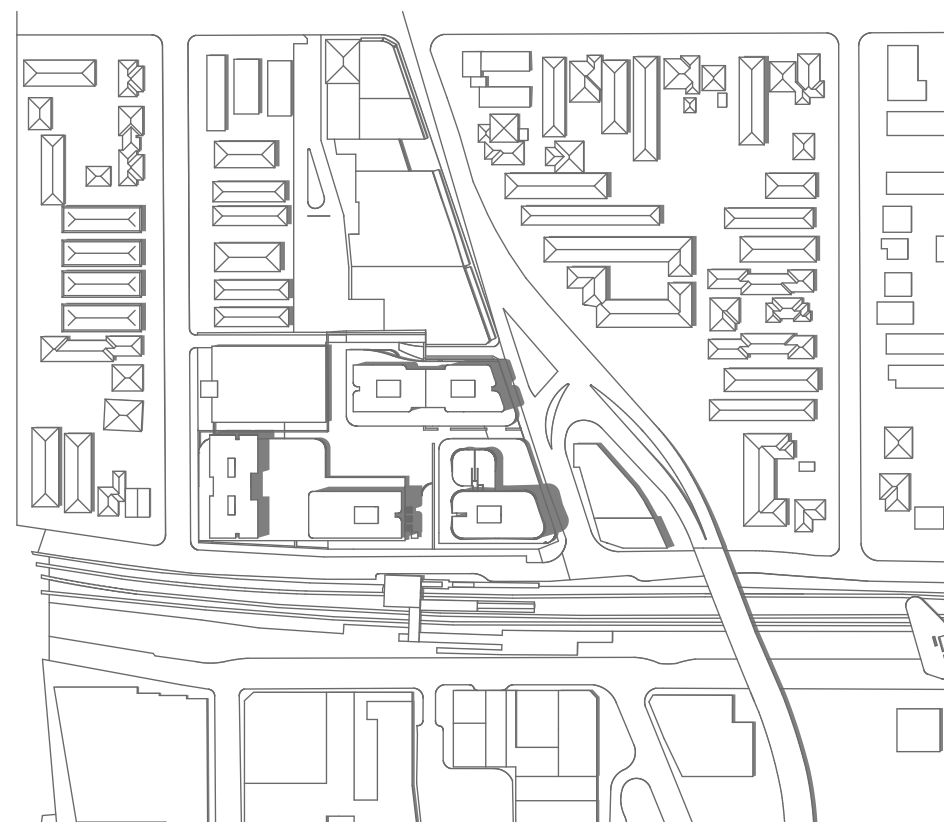
CURRENT: DEC 21ST - 11AM



PROPOSED: DEC 21ST - 11AM



CURRENT: DEC 21ST - 12PM



PROPOSED: DEC 21ST - 12PM

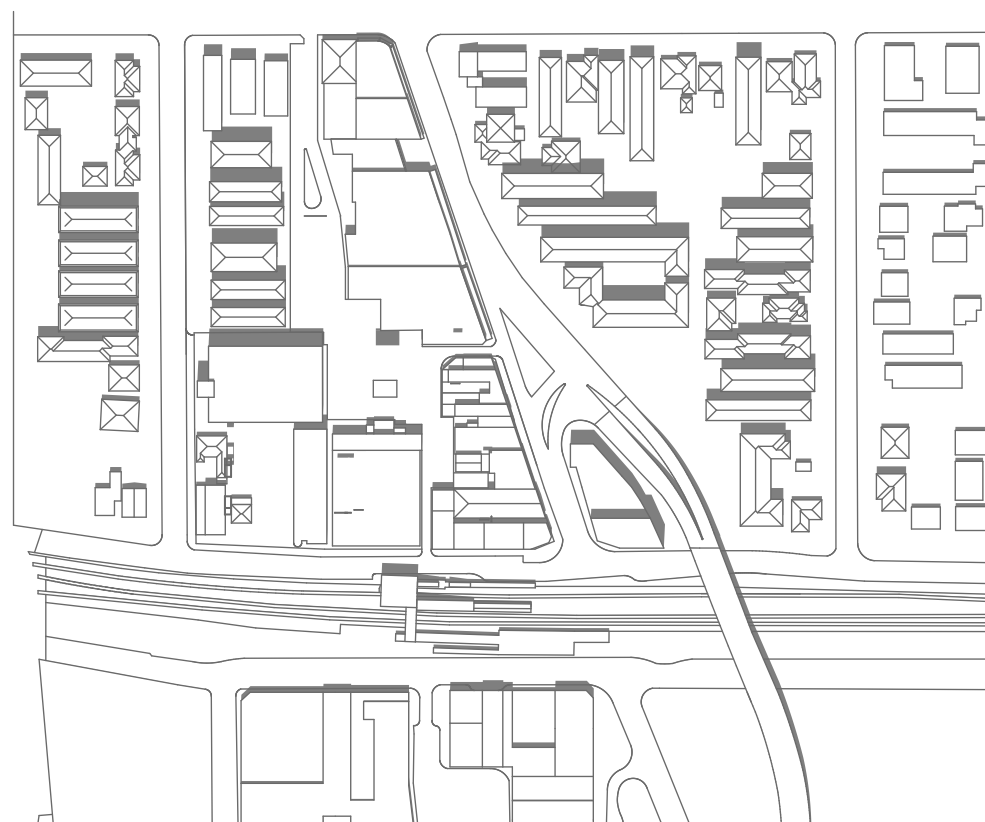




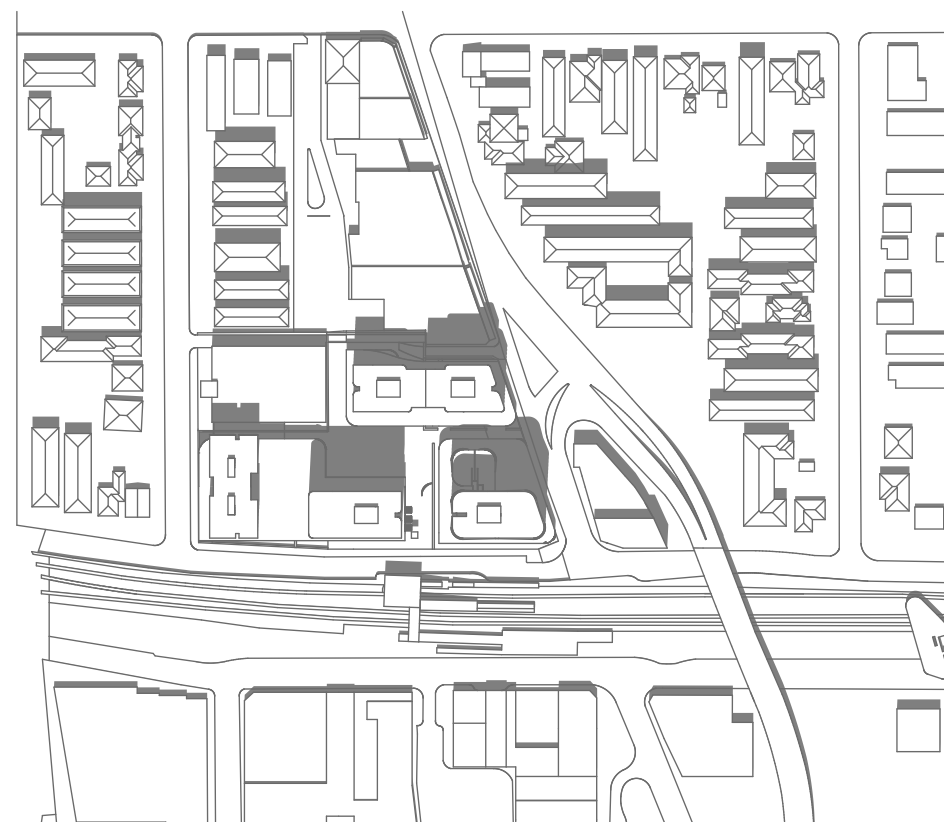
CURRENT: DEC 21ST - 1PM



PROPOSED: DEC 21ST - 1PM



CURRENT: DEC 21ST - 2PM

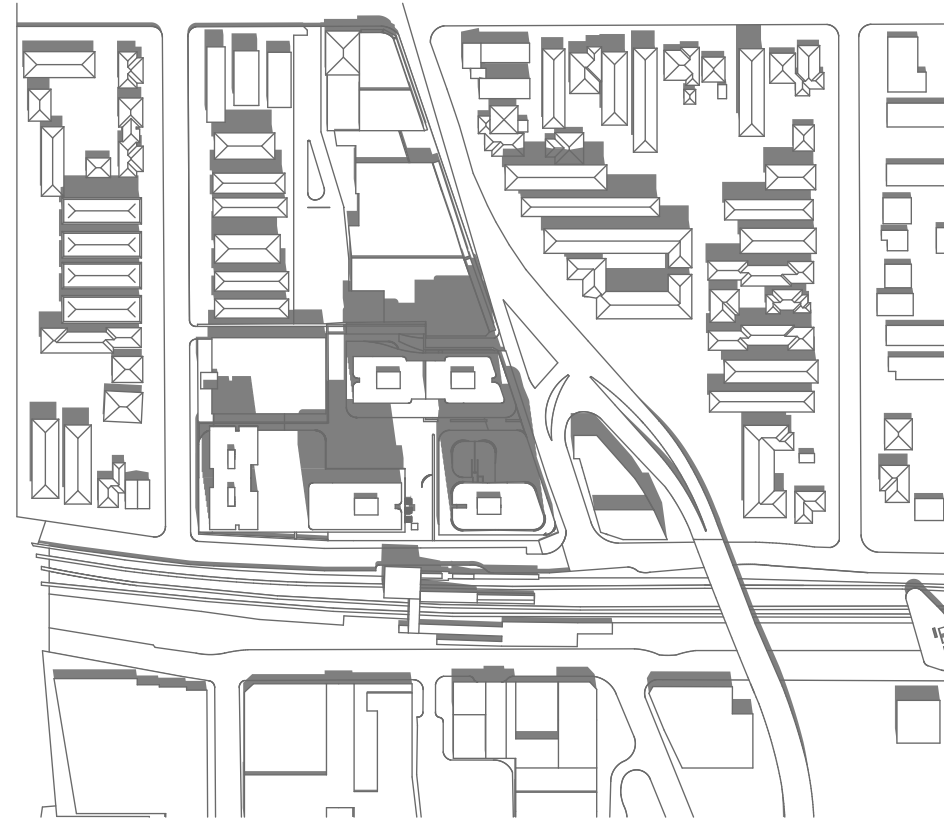


PROPOSED: DEC 21ST - 2PM





CURRENT: DEC 21ST - 3PM



PROPOSED: DEC 21ST - 3PM

